

Aviation
 Maintenance Department
 4200 NW 22 Street, Bldg 3030
 Miami, FL 33159



MIAMI-DADE COUNTY, FLORIDA
 REQUEST FOR PRICE QUOTATION (RPQ)
 Contract No: MCC 7040 Plan - CICC 7040-0/07
 RPQ No: X127A-R

This RPQ is issued under the terms and conditions of the MCC 7040 Plan .

Date Issued: 9/28/2020 Bid Date Due: 10/30/2020 Time Due: 02:00 PM

Bid shall be Submitted Via: Sealed Envelope to:

Name: James P. Ferreira Email: JFerreira@miami-airport.com

Address: MIA Bldg. 3030; 2nd Floor; 4331 NW 22 St. Miami, FL. 33122 Fax: 305-869-4782

RPQ Added: 9/2/2020 User Bidder Request: 9/22/2020 Bond Adm./OMB Approval: 9/24/2020 Bidders Added: 9/24/2020

Project Number: X127A-R Estimated Value: \$326,406.12 SBE-Con. Level: SBE-Con. Level 3
 (excluding contingencies and dedicated allowances)

Project Name: Bldg 3074 Retaining Wall Replacement Emergency: N

Project Location: Miami International Airport Bldg 3074 ESP:

Department Contact: James P. Ferreira Phone No: 305-876-7322 Fax No: 305-869-4782

Project Manager: Adrian Portal Phone No: 3058768315 Fax No:

Document Pickup: Contact: James P. Ferreira Phone: 305-876-7322 Date: 10/14/2020

Document Pickup: Location: After the Pre-bid meeting.

	Mandatory:	Date:	Time:	Location:
PreBid Meeting: <u>Y</u>	<u>Y</u>	<u>10/14/2020</u>	<u>10:00 AM</u>	<u>Conference Call (See Info below)</u>
Site Meeting: <u>Y</u>	<u>Y</u>	<u>10/16/2020</u>	<u>10:00 AM</u>	<u>Meet at MIA Bldg 3074</u>

Type of Contract: Multiple Trade Method of Award: Lowest Responsible Bidder

Performance/Payment Bond Required: Y Bid Bond Required: Y Insurance Required: Y

Addition Insurance Required: Y Addition Insurance Amount: \$2,000,000.00

Federally Funded: N GOB Funded: N Does the funding source allow UAP? Yes No

CIIP Funded: Funded or reimbursed by LAP Agreements with FDOT: N

AIPP: N \$0.00

Comm Dist: District 6 Davis Bacon: N

Prevailing Wage Rate Requirements: Heavy Construction SBD Certificate of Assurance Form Required Y

SBE-Con. Requirements: Y 100.00% Trade Set-a-side: N

SBE-S Requirements: N 0.00% SBE-G Requirements: N 0.00%

DBE Requirements: N 0.00% DBE Subcontract Forms Required: N

CWP Requirements: Y 10.00%

Trade(s): General Building Contractor (Primary) Building Contractor (Primary) General Engineering (Primary)
Structural (Sub) Concrete Engineering (Sub)

Anticipated Start Date: 2/1/2021 Calendar Days for Project Completion: 180

Liquidated Damages / \$\$ Per day: Y \$300.00 Method of Payment: Scheduled Monthly Payments

CAPITAL BUDGET PROJECT # - DESCRIPTION	MCC ESTIMATE
2000000068- MIAMI INTERNATIONAL AIRPORT (MIA) - RESERVE MAINTENANCE SUBPROGRAM	\$326,406.12

FUNDING SOURCE:

SOURCE	PROJECT NUM	SITE #	MCC ESTIMATE
Reserve Maintenance Fund	<u>2000000068</u>	<u>#3000091</u>	<u>\$326,406.12</u>

Awarded To: QUALITY CONSTRUCTION PERFORMANCE INC **SBE-Con. Exp Date:** **Paid Amt:** \$0.00

Collusion Affidavit Received: Y **Date Collusion Affidavit Received:** 11/5/2020

Date Dept Awarded: 12/11/2020 **Date Award Letter:** 12/11/2020 **PO Approval Date:** 3/19/2021

Base Amt: \$550,000.00 **Cont Amt:** \$55,000.00 **Ded Amt:** \$8,000.00 **Award Amt:** \$613,000.00

Insurance: **ISD Reviewed:** N **Date Approved:** 3/16/2021 **GL Ins Exp Dt:** 2/14/2022

P & P Bond: **Risk Approved:** **Date Approved:** 3/2/2021 **WC Ins Exp Dt:** 1/1/2022

AL Ins Exp Dt: 2/14/2022

Scope of Work: (Contractor must obtain and submit all permits prior to performing any work.)

The Scope of Work includes, but is not limited to, providing all labor, equipment and materials required to replace the existing failing retaining wall for a bulkhead wall along the east property line of building 3074, adjacent to the canal.

CONTRACTOR shall review all documents and scope of work provided by MDAD for work to be completed. Please refer to the Plans for further description of the scope of work.

The following comments apply to the Plans:

- 1) Sheet 1: Change "Esteban L. Bovo, Jr. Chairman" to "Audrey M. Edmonson Chairwoman".
- 2) Sheet 1: Change "Audrey M. Edmonson Vice Chairwoman" to "Rebecca Sosa Vice Chairwoman".
- 3) Sheet 1: Change "VACANT – District 5" to "Eileen Higgins – District 5".

Contractors must agree to perform all work in accordance with the scopes of work established by MDAD, the MCC 7040 contract's terms and conditions, all required permits and inspections and all applicable federal, state and local laws, codes and regulations. Any minor variation in the scope of work that is necessary to complete the intended work shall be considered incidental and will not warrant additional compensation. Any major variation encountered in the scope of work that is necessary to complete the intended work will be additional work and will be compensated through a contingency allowance account, dedicated allowance account, or change order. However such major variation shall be completed without delay. Contractor shall use an adequate number of qualified workers who are thoroughly trained in the techniques required to properly complete the work specified. Contractor will own or have access to the equipment necessary and to meet all safety, insurance, and technical requirements of the owner and local, county, state, and federal regulating authorities. The grand total bid price shall be reflected on the RPQ Bid Form – Attachment 5A.

LICENSE:

Note: Pursuant to the requirements of Section 10-3 of the Code of Miami-Dade County, selected Contractors must possess a valid, current, and active State of Florida and/or Miami-Dade County contractor's license issued by the County's Construction Trades Qualifying Board and which is consistent with the requirements of their respective trade and the scope of work.

RESPONSIBLE WAGES:

Prospective bidders are notified that Responsible Wages and Benefits requirements apply to this Request for Price Quotation (RPQ), therefore all labor rates shall not be less than those contained in the Wage and Benefits Schedule in effect as of January 1st of the year the work is performed. Prospective bidders are responsible for taking into consideration all applicable Ordinances and/or Regulations in force at the time of the bid, such as Responsible Wages, that may affect unit prices.

BID BOND AND PERFORMANCE & PAYMENT BOND:

Prospective bidders shall submit a Bid Bond at the time of Bid submission. Bidders may use the Surety Company standard bid bond. Alternatively, a certified or cashier's check will be acceptable in lieu of the bid bond.

The Performance & Payment (P&P) bond must be submitted, using the contract specified form, within ten (10) working days from receipt of the Recommendation for Award (RFA) or time extension approved by the MDAD project manager. The P&P bond shall be required for the full contract amount. P&P Bond shall be submitted once the low "responsive and responsible" bidder is determined and the Recommendation for Award is issued.

MDAD ENVIRONMENTAL POLICY:

Compliance with the Aviation Department (MDAD)'s Environmental Policy, ISO 14000 certification and Commissioning requirements will be strictly enforced by the MDAD PM. These requirements will be discussed during the mandatory pre-bid meeting. The awarded bidder shall comply with all requirements listed on the project plans, specifications and/or distributed separately following the mandatory pre-bid meeting.

SAFETY:

The awarded contractor is responsible for the safety and security of the job site. Any vandalism, theft, etc. which occurs during the construction time is the responsibility of the contractor. No monetary compensation shall be granted if any of the above occurs. If Contractor opts to hire an independent Security Company, such company is to be properly bonded

and insured. Contractors shall provide an established safety program and implementation policy. Contractors' safety programs shall be reviewed and approved by MDAD post-bid submittal and work orders shall not be issued to any contractor until their safety program is approved by MDAD.

LIQUIDATED DAMAGES:

If the awarded contractor shall neglect, fail, or refuse to complete the work within the time specified for Substantial Completion in the Notice to Proceed (NTP), then the contractor hereby agrees, as part of the consideration for the awarding of this Contract, to pay to the Owner, as liquidated damages and not as a penalty, the sum of \$300.00 per day for each calendar day beyond the dates set forth in the NTP and/or Work Order(s). The said amount is fixed and agreed on by and between the Contractor and the Owner because of the impracticability and extreme difficulty of ascertaining the true value of the damages which the Owner will sustain by failure of the Contractor to complete the Work on time, such as loss of revenue, service charges, interest charges, delays caused to other construction activities of Owner by failure to perform this Contract, and other damages, some of which are indefinite and not susceptible of easy proof. Said amount is agreed to be a reasonable estimate of the amount of damages which the Owner will sustain and said amount shall be deducted from any monies due or that may become due to the contractor, and if said monies are insufficient to cover said damages, then the Contractor shall pay the amount of the difference. Substantial completion does not relieve the contractor of completing the project in its entirety, nor does it obligate the owner to pay the entire contract price. Final acceptance is achieved when a Certificate of Completion (i.e., if required), acceptable warranties, final payrolls, final releases or acceptable Consent of Surety and documentation required in the contract documents has been submitted for approval to the MDAD project manager.

SECURITY REQUIREMENTS:

Valid MDAD identification (ID) badges will be required as well as vehicle decals. The selected contractor and their employees must comply with all MDAD security requirements including background checks, security badges, specialized aviation-related insurance requirements, etc. MDAD may, at its sole discretion, consider making these security-related expenses reimbursable.

Upon the award, the awarded contractor will have up to sixty (60) calendar days to provide a copy of the security badges to MDAD/MPEC Division. If the Contractor fails to secure and provide a copy of the required Badges after thirty (30) calendar days following the issuance of the NTP, Contractor may be terminated for default as established in Section 1 of the General Terms and Conditions, Article 1.20 (Termination for Default) of the MCC 7040 contract.

UTILITY CLEARANCES & SHUTDOWNS:

The awarded contractor shall be responsible for obtaining all utility clearances and coordinating all utility shutdowns at least 14 working days before initiating any work. Damage to existing equipment, utilities, MDAD or its business partners' property, etc. will be repaired and/or replaced at the contractor's expense. MDAD forms and procedures to obtain utility clearances and/or coordinate shutdowns will be distributed following the mandatory pre-bid meeting.

REQUEST FOR INFORMATION:

All requests for information (RFIs) shall comply with the Cone of Silence, Administrative Order 3-27 and shall be directed in writing to the MDAD project manager with a copy to the Clerk of the Board (clerkbcc@miamidade.gov). The deadline to submit RFIs is no later than five (5) working days before the bid opening date and time specified on the RPQ and Invitation to Bid. MDAD will issue all changes and/or clarifications to the RPQ in writing via an Addendum. Verbal statements made by the County or the Owner's Representative that are not contained in the RPQ or Addendum are not binding on the County and do not form any basis for a bidder's response to a RPQ.

MINIMUM QUALIFICATIONS AND EXPERIENCE:

The selected SBE-Construction contractor must possess:

1. Contractors must be certified SBE-Construction and registered to participate in the MCC 7040 Plan with ISD's Procurement Management Division;
2. Contractors must hold a valid license required to perform work in the following trade: General Contractor License.
3. Contractors must have a minimum of 5 years' experience performing work in their specific trade. In the event a new firm is established by executives, supervisors and other senior field staff (key employees) that would have met these minimum experience requirements with a prior firm, MDAD reserves the right to qualify the new firm, based on MDAD's sole determination and evaluation of the knowledge and prior experience of these key employees employed by the new firm.
4. Contractors must be able to demonstrate that their firm or its key employees, as described above, have experience performing their respective trade within the company's noted history. Specifically contractors must submit proof that their respective firms have been regularly and successfully engaged in work related to their specific trade for a minimum of one (1) year. These requirements shall be based on projects completed prior to the submission date. Contact information for projects and/or firms submitted as proof of experience shall be provided by prospective contractors as part of their bid package. MDAD will confirm the listed experience by calling the firms' owners or representatives. Should such evidence not be satisfactory to MDAD, whose decision shall be final, the submission will be considered non-responsive. The qualifying proof with names and phone numbers shall be submitted in a sealed envelope at the time of bid.
5. Contractors must have a minimum average total score of 3.0 in their Contractor Performance Evaluations in ISD's Capital Improvements Information System (CIIS). In the event a new firm has been created that does not have

evaluations in the CIIS, the firm that previously employed the key employees of the new firm must have had a minimum average total score of 3.0 in the CIIS Contractor Performance Evaluation Module or the new firm must provide, to MDAD's satisfaction, documentation that the new firm has performed satisfactorily on similar projects within their respective trade. Further, any incidence of project delays in a contractor performance evaluation must be justified to the satisfaction of MDAD.

INDEMNIFICATION & INSURANCE:

Contractor is required to have proper insurance to cover ongoing work on the job site. The Contractor shall furnish certificates of insurance and insurance policies to the Owner prior to commencing any operations under this Contract. Certificates and policies shall clearly indicate that the Contractor has obtained insurance, as required for strict compliance with this specification. Compliance with the foregoing requirements shall not relieve the Contractor from liability under any other portion of this Contract. The Contractor shall be responsible for assuring that the insurance certificates required in conjunction with this section remain in force for the duration of the agreement. See attached for indemnification and insurance requirements.

CERTIFICATE OF ASSURANCE:

Bidders must submit a completed Certificate of Assurance (COA) along with the Bid Submittal Package identifying the Small Business Enterprise (SBE) measure. By submitting a completed COA the bidder acknowledges the Small Business Enterprise (SBE) measures applied to the project and agrees to submit, upon notification by SBD or the Miami-Dade County Business Management Workforce System (BMWS), a Utilization Plan via BMWS listing all certified SBE contractor(s) to be utilized to satisfy the measures on the Project, indicating the percentage of work and the description of the work to be performed (pursuant to the firm's certification), within the specified time frame, before the Utilization Plan may be submitted to SBD for approval. Bidders can confirm a SBE-CON certification via BMWS at <http://mdcsbd.gob2g.com/>.

Place the completed COA(s) on top of the bid package so that it can be readily identified by the Department during the bid opening.

MANDATORY PRE-BID MEETING CONFERENCE CALL AND SITE VISIT:

Since a conference call does not require a physical presence, social distancing practices for COVID-19 are being adhered to. Bidders are still required/responsible for participating in the MANDATORY conference call. Failure to participate in the MANDATORY conference call shall result in the corresponding contractor/company being considered non-responsive. Contractors are extremely encouraged to call 5 minutes before the scheduled meeting time for a roll call. Late arrivals to the conference call shall result in the contractor/company being considered non-responsive.

The conference call will be recorded.

The dial-in instructions for the conference call are described below:

- Dial in: 305-876-8333
- Meeting ID: 5762555
- Passcode/Pin: 5869

The agenda for the pre-bid conference call meeting will be sent to you via email to be used during the meeting. Make sure you receive it, if not, please check your junk email or contact our office.

Bidders are responsible for attending the mandatory pre-bid meeting conference call and site visit.

BID BOX:

The bid box is located in the hallway between Conference Rooms B-205 and B-209 in MIA Bldg. 3030, B-Wing, 2nd Floor. If the time clock adjacent to the bid box is unable to stamp the bid envelope due to its thickness, please see Ms. Silvia Perez, Mr. James P. Ferreira or any MDAD representative at MIA Building 3030 to have bid envelopes signed, dated and timed prior to dropping them in the box.

BID SUBMITTAL:

All quantities provided with the bid documents are estimated quantities based on the project scope of work. It is the bidder's responsibility to confirm any and all estimated quantities or amounts reflected on the bid documents to generate a "responsive and responsible" bid. Errors, omissions and/or discrepancies in quantities shall be brought-up to the attention of the MDAD team via the request for information (RFI) process during the bidding phase. Failure to confirm estimated quantities shall not constitute grounds for subsequent change orders. Bidders are responsible for all costs related to permitting, preparation of required shop drawings, special inspections, preparation of as-built drawings, close-out documentation and/or any engineering certificates required.

Contingency Allowance Account: for unforeseen conditions, construction changes, for additional work or materials not covered by other proposal items and for quantity adjustments, if ordered by the MDAD PM.

This account item is for all labor, materials, equipment and service necessary for modification or extra work required to complete the Project because of unforeseeable conditions, unforeseeable conflicts between existing elements of work and the proposed work; for minor changes required to resolve any unforeseeable conditions, Revised Regulations,

Technological and Products Development, Operational Changes, Schedule Requirements, Program Interface, Emergencies and other miscellaneous costs; all if ordered by the MDAD PM. The Contingency Allowance Account is ten percent of the subtotal of all quantities provided on the Bid Form.

Payment to the CONTRACTOR under this item will only be made for work ordered in writing by the MDAD. Any portion of this fund remaining after all authorized payments have been made will be withheld from Contract Payments, and will remain with the County. If one account has been depleted and funds are available in the other accounts the MDAD PM may use some of the available funds to complete the Project.

Dedicated Allowance Account: for other unforeseen conditions (permitting, plan revisions, existing utility relocations, utility company service fees), construction changes and for quantity adjustments. The Dedicated Allowance Account is fixed at \$8,000.00. Any portion of this fund remaining after all authorized payments have been made will be withheld from Contract Payments, and will remain with the County. If one account has been depleted and funds are available in the other accounts the MDAD PM may use some of the available funds to complete the Project.

Bid Documents shall be distributed following the MANDATORY Pre-Bid Meeting (see date and time above). Potential bidders are hereby notified that some of the documents that will be distributed following the mandatory pre-bid meeting possibly contain sensitive security information (SSI). Accordingly, please comply with the standards for access, dissemination, handling & safeguarding of SSI in accordance with 49 CFR Part 1520, any applicable amendments and/or supplementary guidance(s) issued by the Department of Homeland Security. Bid Documents must be submitted in a sealed envelope. The bidder's name, address, the project name and the RPQ number must be indicated on the outside of the envelope. The sealed envelope shall include, at a minimum, the following documents:

1. Bid price using Bid Form - Attachment 5A.
2. Bid guarantee in the form of a bid bond, certified check, or cashier's check. Failure to include a bid bond/ guarantee shall render the bid non-responsive.
3. Fully executed Fair Wage and Collusion Affidavit.
4. Any and all applicable Addenda documents (fully executed and dated) issued during the bidding phase.
5. Internal Services Department (ISD) Division of Small Business Development's (SBD) Certificate of Assurance (COA) Form.

All potential bidders are hereby notified that failure to submit the completed Bid Form and Attachment 5A reflecting the bid amount and bidder information, COA, and/or the bid bond/guarantee will not constitute a curable deficiency and shall render the bid "non-responsive." Failure to include the Fair Wage and/or Collusion affidavits, Addendum or other similar forms due with the bid shall be considered curable deficiencies. Bidders will be allowed to cure these deficiencies within deadlines established by MDAD staff.

Recommendation for Award is contingent to availability of proper funding.

CONSTRUCTION PROGRESS SCHEDULE:

The contractor, within seven days of the Recommendation for Award or time extension granted by the MDAD PM, shall submit a "Construction Progress Schedule" and the final "Schedule of Values" as follows:

The Construction Progress Schedule shall be in a bar chart format with separate bars for each trade, activity and operation on each building, structure and improvement. Include all trades required for completion of project in activities of schedule. Identify the first workday of each week. Provide electronic copy of schedule or submit via E-mail to the MDAD PM. Updated schedules shall be provided with each application for payment. Updated schedules must reflect all changes since previous submittal. Failure to submit updated schedule may be cause for withholding payment to contractor. Activities detailed within construction schedule shall correlate with all items listed within Schedules of Values. OWNER will review and return schedule (approved or rejected) to Contractor. Construction may not begin until OWNER has reviewed and approved in writing of Contractor proposed schedule.

DAILY LOG:

CONTRACTOR shall maintain a daily log (report) of activity at job-site. Reports will be submitted to the MDAD project manager upon request. Daily reports shall be submitted to the Construction Supervisor at the stipulated progress meeting(s). FAILURE TO SUBMIT DAILY REPORTS AS STIPULATED ABOVE MAY RESULT IN PAYMENT DELAYS.

Contractor will be responsible for all his work until accepted by the MDAD. Any damage to any newly completed or in progress work will be the sole responsibility of the contractor to fix at no additional cost to the owner. No time extension will be granted for any delays related to such damages. All existing finishes and areas disturbed by CONTRACTOR will be repaired and or replaced to original condition as directed by OWNER.

PROGRESS MEETINGS:

The MDAD project manager will schedule and host progress meetings throughout the duration of the project. The contractor shall attend each meeting with major subcontractors, contractor's project manager, and job superintendent and supplier representatives. Attendants noted above shall cooperate with the MDAD PM to ensure that meetings are held on a timely manner. One of the progress meetings may be designated as a monthly payment requisition review meeting.

PERMITS:

CONTRACTOR is responsible for obtaining all applicable permits and paying all related fees needed to begin and complete all phases of work within the plans. It shall be the contractor's responsibility to ensure that all required regulatory or proprietary permits are obtained prior to commencement of work. Copies of all permits shall be submitted to MDAD PM prior to commencing work. CONTRACTOR is responsible for obtaining all permits and inspections required to complete project. The CONTRACTOR, prior to final requisition for payment, shall obtain and submit a Certificate of Completion and/or Certificate of Occupancy (i.e., if applicable) to the MDAD PM. CONTRACTOR shall provide all construction administration services and related costs required for all permits and preparation of all required shop drawings, review, field inspections, as-built, change order review, and close out documents, engineering certificates as required.

SFWM PERMIT:

Contractor will need to apply for a SFWM temporary use permit, which includes submitting the necessary information about dates, time, and temporary access issues including barge information.

Contractor will need to address the potential for damage to or blocking of existing infrastructure and facilities due to foreseen and unforeseen conditions. In the past, there have been instances where barges have either posed a threat to SFWMD flood control facilities or existing right-of-way appurtenances due to either the barge floating free or listing of the barge which posed a potential for equipment/material on the barge to end up in the right-of-way.

Consideration needs to be given to the size of the barge and its draft in relation to the canal cross-section, including:

1. The smallest size barge needed to get the work done should be utilized.
2. The barge width should not obstruct more than 25 percent of the canal width at the seasonal water level.
3. The length of the barge should be less than 50 percent of the canal width at the seasonal water level.
4. The barge will be safely and securely held in place during the work day, overnight or on weekends. A barge management plan prescribing the securing mechanism and procedures will be prepared by a Florida licensed Geotechnical Engineer, Structural Engineer or an Engineer experienced with the design of marine facilities. The barge management plan must include:
 - A. The full range of historical stage and rate of stage changes based on break point data;
 - B. The historical range of flow at the nearest downstream structure with flow data;
 - C. Summary of the design flows and stages, and
 - D. The procedure for removal of the barge from the canal and storage in 24 hours of the issuing of Tropical Watch, Tropical Warning, Hurricane Watch, or Hurricane Warning.
5. Maintain access for water crafts during working hours when the barge is in the water. Related to Item No. 2 above.

SHOP DRAWINGS AND SAMPLES:

The contractor shall submit two (2) copies of all Shop Drawings, catalog cut-sheets and samples (submittals) required. Samples (as applicable) shall provide full range of manufacturer's standard colors, textures, and patterns for selection. All color and finish selections must be submitted by the contractor in a single submittal, properly labeled and identified.

The contractor shall maintain a set of construction drawings on site reflecting all changes, revisions, approved RFIs and/or directives applicable to the changes/modifications. All changes, revisions and/or modifications shall be clearly marked in red on the said drawings before requesting pencil draft walkthrough inspections for processing of payment requisitions. The marked set of drawings shall be readily available at the project site upon request by the MDAD project manager and/or its authorized representative(s).

AS-BUILTS:

CONTRACTOR shall provide THREE (3) HARD COPIES and/or THREE (3) CAD COPIES on CD of SIGNED and SEALED as-built drawings at completion of work. Use the latest version of CAD compiled format. X-REF files are not acceptable. Final requisition for payment will not be processed without submittal and acceptance of as-built drawings. CONTRACTOR shall maintain updated Red line as-built at the jobsite for review as part of the Monthly Requisition review meeting. All projects must have an As-Built completed, received, reviewed and approved by the Miami-Dade Aviation Department prior to authorizing final payment to the consultant or contractor. As-Built shall be Signed and Sealed by a Professional Land Surveyor or Professional Engineer.

Design Drawings Included: Y

Shop Drawings Included: N

Specifications Included: Y

Project Qualifier: Ana Finol, P.E.

Phone No: 305-876-8310

Email: AFinol@miami-airport.com

Comments:

In accordance with Miami-Dade County Implementing Order 3-9, Accounts Receivable Adjustments, if money is owed by the Contractor to the County, whether under this Contract or for any other purpose, the County reserves the right to retain such amount from payment due by County to the Contractor under this Contract. Such retained amount shall be applied to the amount owed by the Contractor to the County. The Contractor shall have no further claim to such retained amounts which shall be deemed full accord and satisfaction of the amount due by the County to the Contractor for the applicable payment due herein.

All Projects, where the prices received are in excess of \$200,000 will require the submission of the Payment and

Performance Bond as required by State of Florida Statute.

COMMUNITY WORKFORCE PROGRAM

Prior to entering into a contract and according to the Miami-Dade County Code §2-1701 and amended by Ordinance 13-66, the successful bidder on a construction contract subject to a Community Workforce Program (CWP) goal, must submit to Small Business Development (SBD) through the contracting officer a workforce plan outlining how the CWP goal will be met. Additional information is available at the County's website at <http://www.miamidade.gov/business/contract-requirements.asp#0>.

Contractor must submit a Workforce Plan to the Miami-Dade County Internal Services Department, Small Business Development Division within fifteen (15) days of notification of award of the contract. The County will not enter into the contract until it receives the contractor's Workforce Plan and deems the Plan acceptable. The Workforce Plan forms may be obtained on the County's website at <http://www.miamidade.gov/business/contract-requirements.asp#0>.

PUBLIC RECORDS AND CONTRACTS FOR SERVICES PERFORMED ON BEHALF OF MIAMI-DADE COUNTY:

The Contractor shall comply with the Public Records Laws of the State of Florida, including but not limited to: (1) keeping and maintaining all public records that ordinarily and necessarily would be required by Miami-Dade County (County) in order to perform the service; (2) providing the public with access to public records on the same terms and conditions that the County would provide the records and at a cost that does not exceed the cost provided in Chapter 119, F.S., or as otherwise provided by law; (3) ensuring that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law; and (4) meeting all requirements for retaining public records and transferring, at no cost, to the County all public records in possession of the Contractor upon termination of the contract and destroying any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements upon such transfer. In addition, all records stored electronically must be provided to the County in a format that is compatible with the information technology systems of the County. Failure to meet any of these provisions or to comply with Florida's Public Records Laws as applicable shall be a material breach of the agreement and shall be enforced in accordance with the terms of the agreement.

IF THE CONTRACTOR HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE CONTRACTOR'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS CONTRACT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT (305) 375-5773; ISD-VSS@MIAMIDADE.GOV; 111 NW 1 STREET, SUITE 1300, MIAMI, FLORIDA 33128



RPQ ADDENDUM

Addendum No.:	1	Date:	10/22/2020
Project No.:	X127A-R	Project Title:	Bldg 3074 Retaining Wall Replacement
RPQ No.:	X127A-R	RPQ Due Date:	10/30/2020
Project Location:	MIA Bldg 3074	Project Manager:	A. Portal

This Addendum serves to respond to the Request for Information (RFI) submitted by the following Contractors:

Gustavo Bustos of Quality Construction Performance, Inc., received on 10/21/2020, 8:23PM.

- Q.1 The structural parameters for the selection of the steel sheetpile demand a profile that is both very deep and thick yielding a cost of material too close to the estimated budget for the job. At first glance it would seem that the soil pressure and any probable surcharge would not demand such stiff elements. Please confirm the structural parameters indicated in Drawing S-1, Wall General Notes, Table "Bulkhead Wall Construction Information".

- A.1 The sheet pile design is based on the ultimate typical section shown on the bottom of Sheet S-4, when SFWMD widens the existing canal section. It is based on a cantilevered wall with an unsupported length of 13 ft and a 2 ft surcharge, resisted by a sloped embankment in front of the wall consisting of loose density material under submerged conditions. In addition, the limitations on deflection (3 inches max) and the increase in sacrificial thickness to mitigate long term corrosion measures (100-year life criteria) requires the use of the selected section shown on Sheet S-1. With the proximity of the existing building adjacent to the wall, a tied back wall solution that would have yielded a lesser section profile, was not feasible.

All else remains the same. This document must be signed and returned as part of your RPQ response. Failure to return this document signed may result in your RPQ response being rejected as non-responsive.

Name of Contractor: _____

Name of Individual Authorized to Sign: _____

Title: _____

Signature: _____



RPQ ADDENDUM

Addendum No.:	2	Date:	10/26/2020
Project No.:	X127A-R	Project Title:	Bldg 3074 Retaining Wall Replacement
RPQ No.:	X127A-R	RPQ Due Date:	11/5/2020
Project Location:	MIA Bldg 3074	Project Manager:	A. Portal

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- Change Bid Due Date from Friday, 10/30/2020 to Thursday, 11/5/2020.

This Addendum also serves to respond to the Request for Information (RFI) submitted by the following Contractors:

Joaquin Esquivia of Conbuild, LLC, received on 10/22/2020, 3:07PM.

- Q.1 Can we use the existing parking lot for staging the sheet piles and other materials during construction?
- A.1 Staging areas will be discussed during the pre-construction meeting.
- Q.2 Invitation to Bid, the note: “Bidders are responsible for all costs related to permitting” does this refer to administrative cost, but not the actual cost of the permits? Please clarify.
- A.2 The actual cost of the permits will be reimbursed from the dedicated allowance. All other costs should be included in the bidder’s base bid.
- Q.3 Will MDAD reimburse contractors for permit fees when required?
- A.3 Refer to A.2 above.
- Q.4 The underground utilities ticket has expired since 09/26/2018. Clarify what underground lines are identified around the area of new work?
- A.4 Refer to Wall General Notes #13A on Sheet S-1.

- Q.5 There are no contractors to perform sheet piling installations registered with Miami Dade County as SBE. Please confirm that we can use any trade contractor that can perform the work.
- A.5 Once the project is awarded if the need to utilize a non-certified SBE-Con sub-contractor would arise, the prime contractor must request a deviation through BMWS stating the reason why a non-certified SBE firm is needed.
- Q.6 Please confirm that FPL will relocate the electrical line and pole around the new sheet piling installations.
- A.6 FPL will detach their lines and guys from the existing guying pole (labeled "Existing utility pole coordinate with utility owner if pole is to remain or be relocated" on Sheet S-2) and abandon it. It is the contractor's responsibility to remove the abandoned pole. Refer to Wall General Notes #13D on Sheet S-1 for more information.
- Q.7 Please confirm that the cost to relocate any electrical lines as required to install sheet piles will not be paid by Contractor.
- A.7 Refer to A.6 above. Any additional existing utility relocation costs will be reimbursed from the dedicated allowance.
- Q.8 Please confirm where is the point of access to the channel to place the barge.
- A.8 The point of access to the channel is the ramp just south of the parking lot.
- Q.9 Sheet S-3 note "front face of steel sheet pile epoxy coat both faces full length of sheets". Would it be acceptable to paint only both sides of the top 20 feet and not the entire length of the piles?
- A.9 Refer to Wall General Notes #10C on Sheet S-1.
- Q.10 If during the monitoring of the sheet piling installation, the adjacent building structure cracks, will the contractor be responsible for any repairs?
- A.10 Refer to Wall General Notes #14 on Sheet S-1.
- Q.11 Will this contract be subject to Inspector General IG fee deduction on each payment? if so, please clarify the percentage amount to be deducted.
- A.11 As described in the 7040 contract: "Inspector General pursuant to Section 2-1076 (c) (6) of the County Code, the cost of random audits shall be incorporated into the contract price of all contracts and shall be one quarter (1/4) of one (1) percent of the contract price."
- Q.12 Please clarify if the 2% UAP deduction is applicable for this project for each payment application.
- A.12 No, as long as the base bid is below \$500,000, the 2% UAP deduction does not apply.

Q.13 The full contract amount for the P&P bond means to include the base bid plus contingency allowance account and plus the dedicated allowance account correct?

A.13 Yes, the full contract amount includes the base bid, 10% contingency, & \$8,000 dedicated allowance.

Q.14 Confirm that prevailing wages are highway and not building construction.

A.14 As shown in the Invitation to Bid, the Prevailing Wage Rate required is Heavy Construction.

Q.15 Who is responsible to pay for testing fees (concrete, densities, etc.)?

A.15 The contractor is responsible for all testing fees.

Humberto M. Fleites of Fleites Construction Group, Inc., received on 10/23/2020, 12:03PM.

Q.16 After several meetings with Steel Sheet Piles experts, they all agreed that the electrical pole and cables in the area of the new sheet piles need to be removed or relocated. Are the coordination and cost supposed to be done by the contractor or MDAD?. If is by the contractor, is impossible to have the cost of the removal or relocation before the Bid date, can you provide an allowance?

A.16 Refer to A.6 & A.7 above.

Q.17 I don't see any Steel Sheet piles contractor in the SBE list, can we use "Non-SBE" contractor?

A.17 Refer to A.5 above.

All else remains the same. This document must be signed and returned as part of your RPQ response. Failure to return this document signed may result in your RPQ response being rejected as non-responsive.

Name of Contractor: _____

Name of Individual Authorized to Sign: _____

Title: _____

Signature: _____



RPQ ADDENDUM

Addendum No.:	3	Date:	10/30/2020
Project No.:	X127A-R	Project Title:	Bldg 3074 Retaining Wall Replacement
RPQ No.:	X127A-R	RPQ Due Date:	11/5/2020
Project Location:	MIA Bldg 3074	Project Manager:	A. Portal

This Addendum serves to respond to the Request for Information (RFI) submitted by the following Contractors:

Joaquin Esquivia of Conbuild, LLC, received on 10/23/2020, 11:35AM.

Q.1 Please clarify if existing building 3074 is built over piles? And at what depth?

A.1 Refer to attached "As-builts for Addendum #3".

Q.2 Could you please provide as-builts for existing Bldg. 3074, this information is important to evaluate existing conditions?

A.2 Refer to A.1.

Q.3 Will temporary sheet piling be required prior demolition of the existing retaining wall?

A.3 The use of temporary sheet pile for removal of the existing toe wall shall be as per the contractor's means and method.

Q.4 Since the sheet piles requirements are for 55 ft length and due to covid pandemic suppliers are taking more time to respond to their quotes, can MDAD extend the bid due date a couple more days to obtain competitive proposals.

A.4 Addendum #2 extended the bid due date to Thursday, 11/5/2020.

Q.5 Is this project a re-bid? If so, could you please provide the last bid tabulation results?

A.5 This project is a re-bid but the original project was cancelled before any bids were received.

All else remains the same. This document must be signed and returned as part of your RPQ response. Failure to return this document signed may result in your RPQ response being rejected as non-responsive.

Name of Contractor: _____

Name of Individual Authorized to Sign: _____

Title: _____

Signature: _____

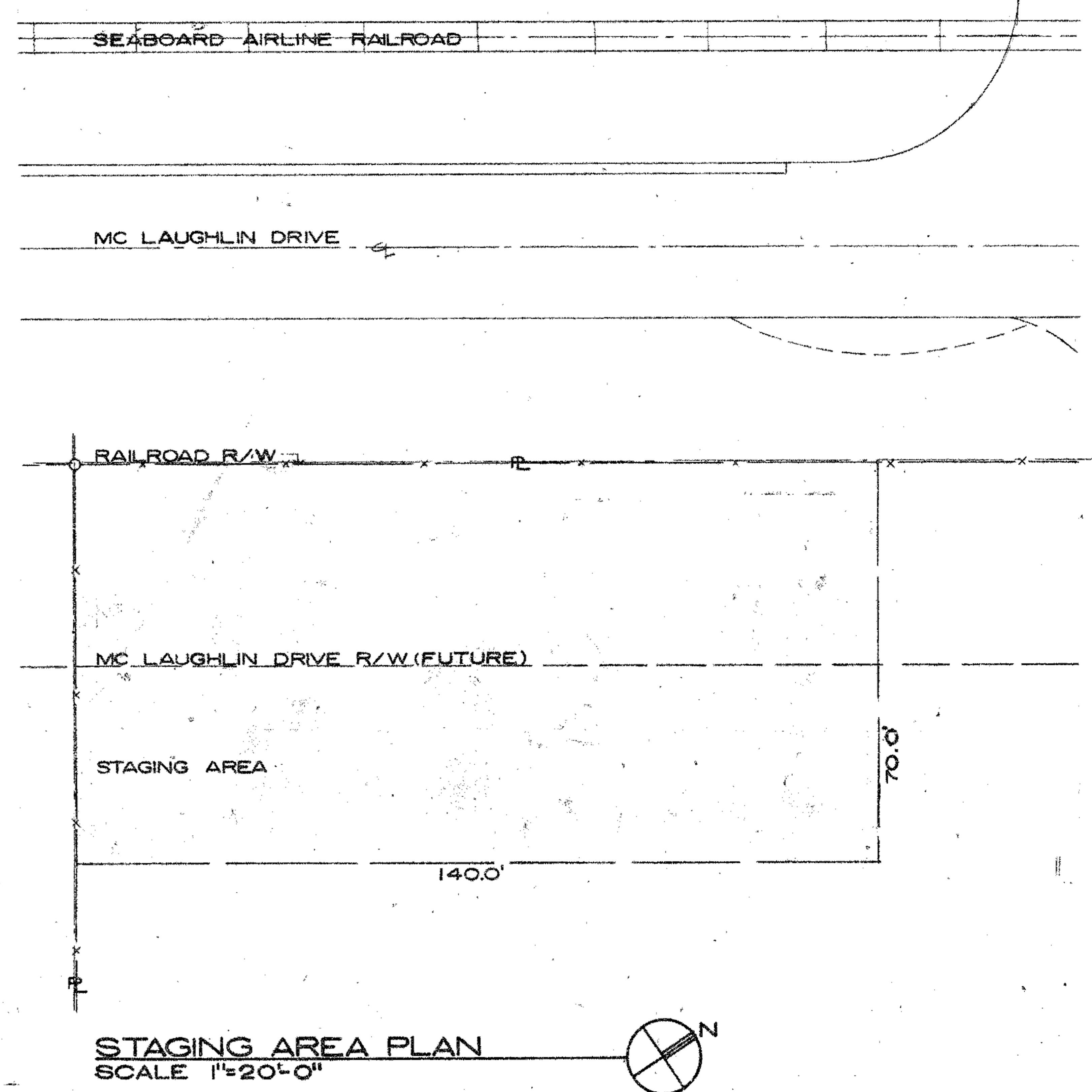
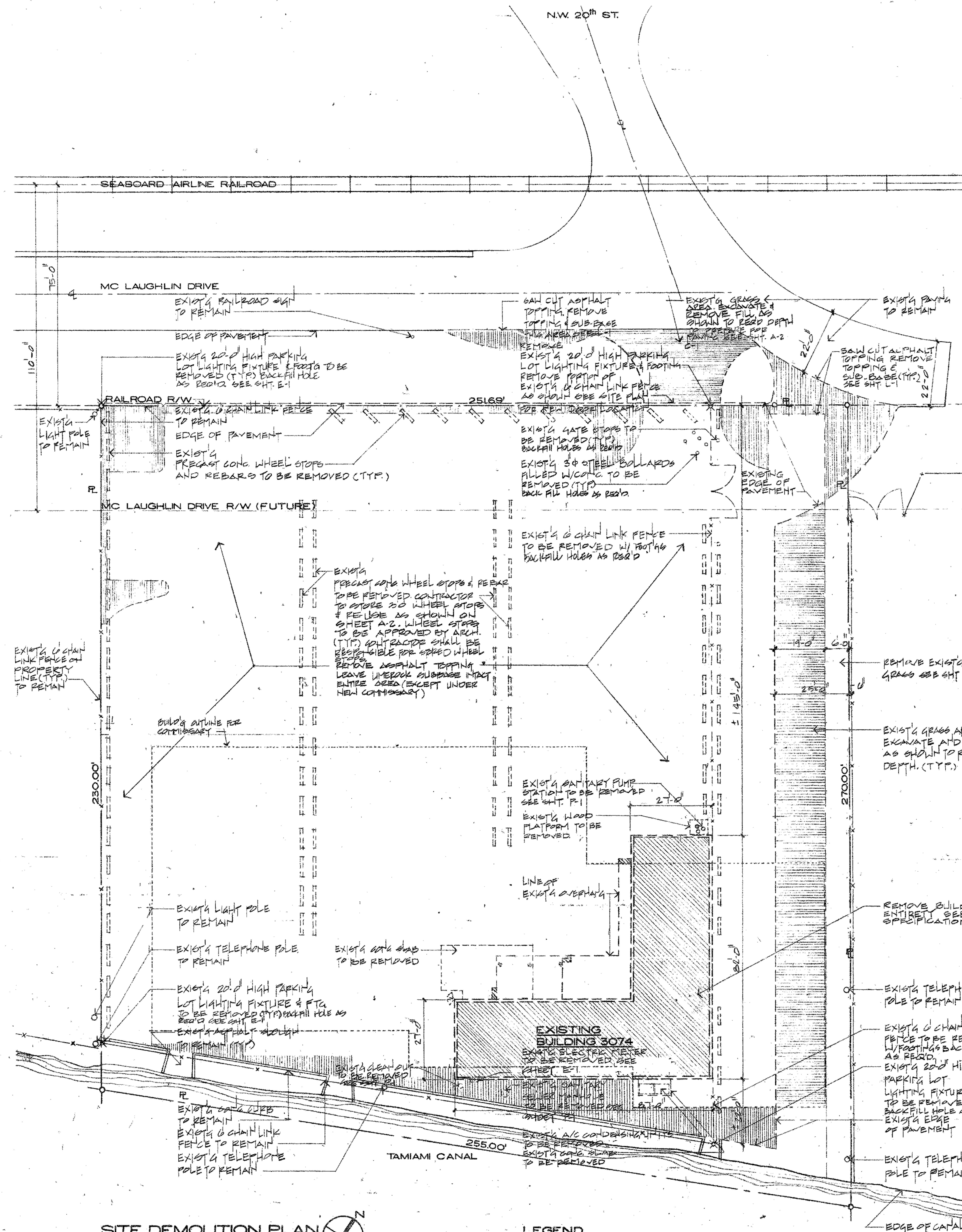
NO.	DATE	APPRO. REVISIONS

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COMMISSARY FOR:
DOBBS HOUSES INC.
 AT
BUILDING 3074
 MIAMI INTERNATIONAL AIRPORT

CLIENT APPRO.	DATE	
JSS-TA-PC	11-25-88	
DRAWN	DATE	
DOT	1-21-89	
APPROVED	DATE	
BIDDING	1-21-89	
ISSUED	06-23-89	

SITE DEMOLITION
 PLAN



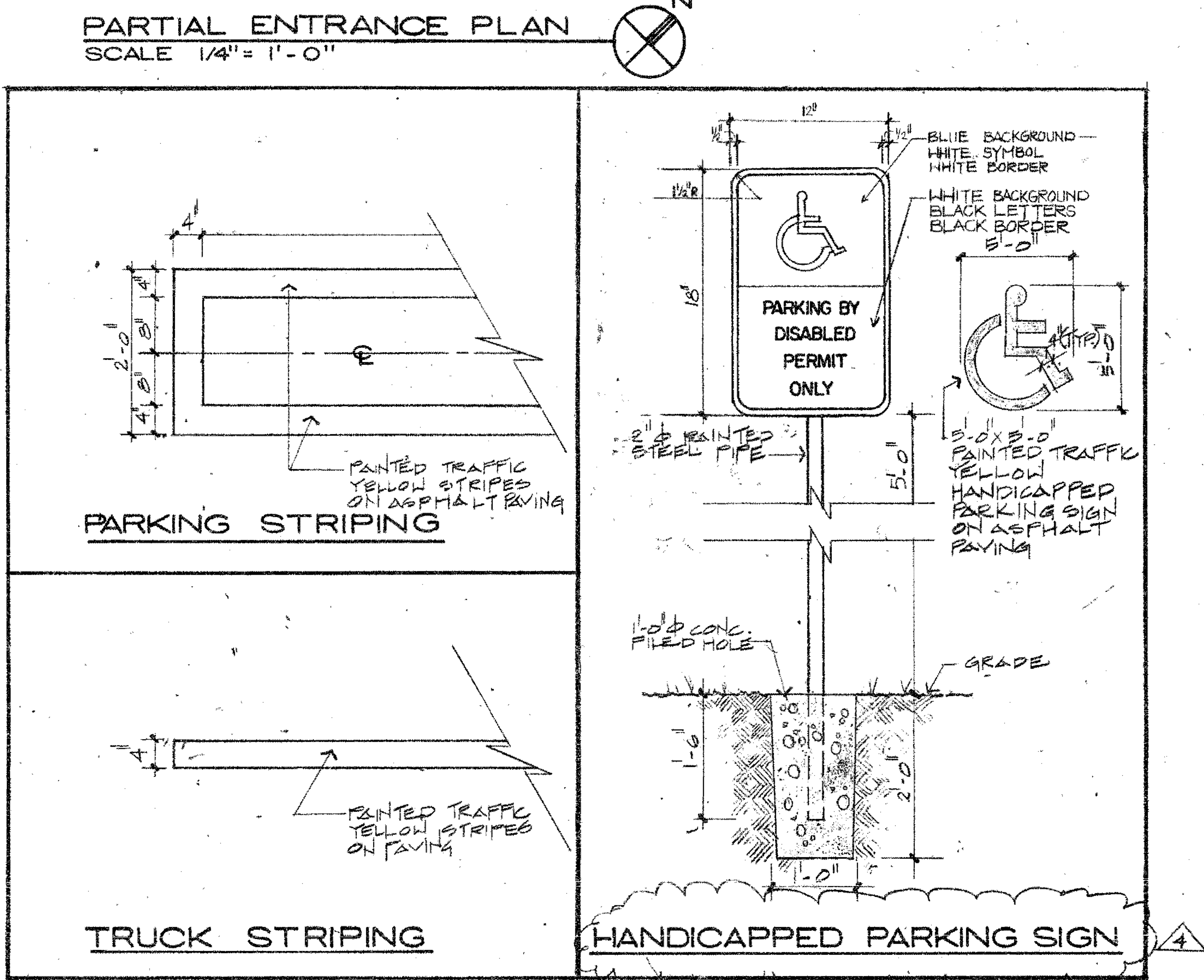
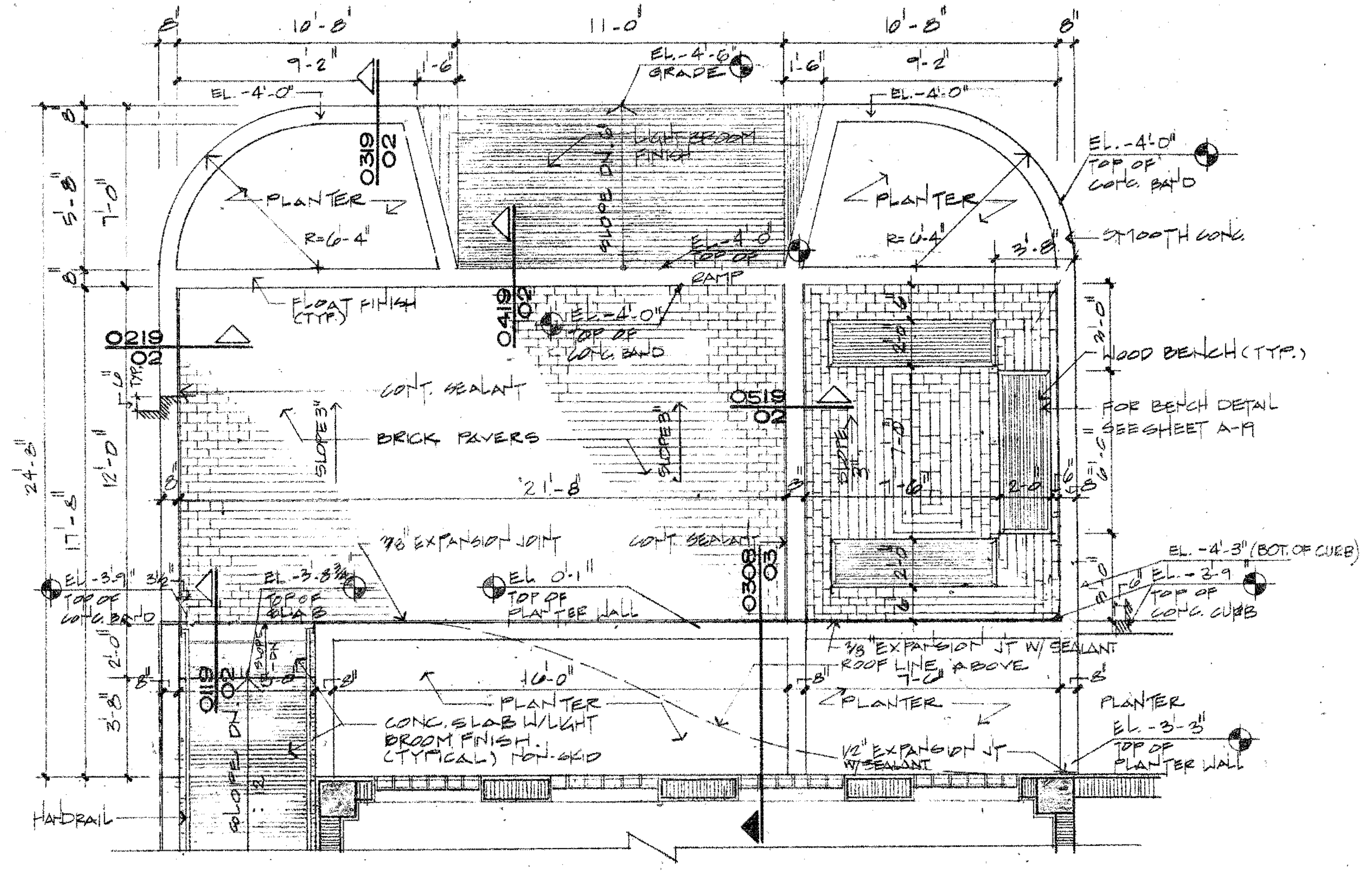
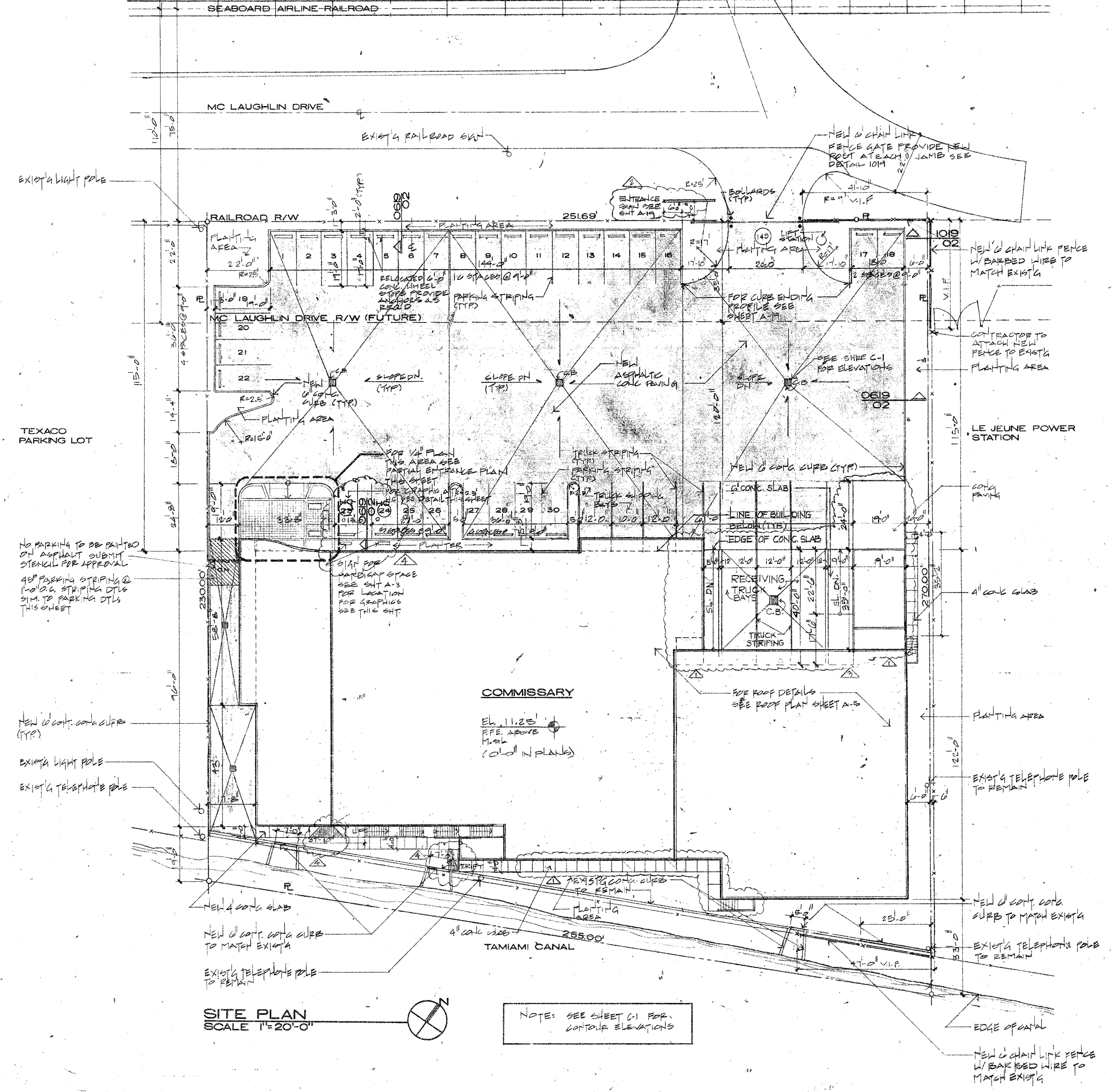
SITE DEMOLITION PLAN
 SCALE 1"=20'-0"

- LEGEND**
- EXISTING BUILDING 3074 TO BE REMOVED
 - EXISTING GRASS AREA TO BE REMOVED, AREA AT NEW PAVING SEE SHEET A-2 FC-1
 - REMOVED EXISTING PAVEMENT TO BE REMOVED, AREAS OF NEW LANDSCAPING SEE SHEET L-1
 - INDICATES TO BE REMOVED

NOTE
 ALL MATERIAL SCHEDULED TO BE REMOVED FROM THE SITE IS THE PROPERTY OF DOBBS. COORDINATE WITH DOBBS PRIOR TO REMOVING MATERIAL FROM THE SITE. SEE SPECIFICATIONS.
 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUCH MATERIAL AND SHALL STORE AND MATERIAL IN SECURE AREA WITHIN SITE/STAGING AREA.

700-10

SYMBOLS LEGEND	
	BUILDING SECTION
	WALL SECTION
	DETAIL SECTION
	DETAIL
	REVISION MARK
	WINDOW TYPE
	DOOR NO.
	LOUVER TYPE
	WALL TYPE
	SIGN NO.
	ROOM NO.
	FLOOR NO. EQUIPMENT TYPE
	SHEET DRAWN DETAIL NUMBER
	TYP NUMBERING OF SECTION/DETAILS
	SHEET TAKEN



PARKING DETAILS
SCALE 3/4"=1'-0"

SITE DATA

	* RECOMMENDED	PROVIDED
SITE AREA	-	62,922 SF.
BUILDING AREA	32,090.4 SF.	21,957 SF.
FLOOR AREA RATIO	51 %	35 %
LANDSCAPED OPEN SPACE	6292.2 SF.	10,570 SF.
LANDSCAPED AREA	10 %	16 %
ON SITE PARKING 1:1000	22 SPACES	30 SPACES

* NOTE:
NO DEFINITE ZONING REQUIREMENT ESTABLISHED UPON THIS PROPERTY AS OF 1-8-85. DADE COUNTY PLANNING & ZONING DEPARTMENT RECOMMENDS USING 10-1 DISTRICT REGULATIONS AS A GUIDELINE FOR DEVELOPMENT. THE ONLY DEFINITE RESTRICTION UPON THE LAND IS A 150 FT. HEIGHT LIMITATION SET BY THE F.A.A.

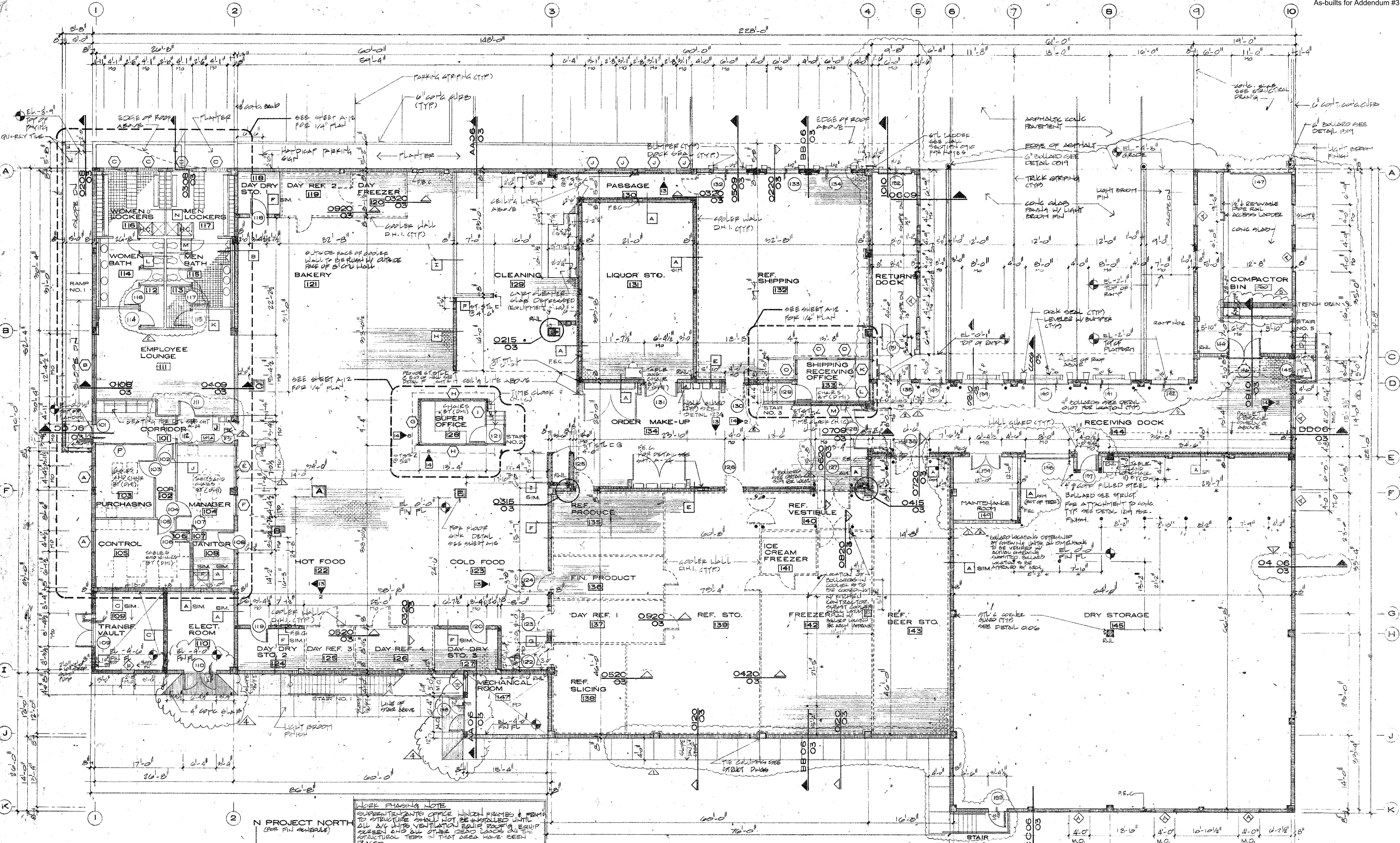
NO.	DATE	REVISIONS
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2	1-2-85	REVISED
3	1-2-85	REVISED
4	1-2-85	REVISED
5	1-2-85	REVISED

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AT
BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

CLIENT	DATE	DATE
ISSUED	1-2-85	1-2-85
APPROVED	1-2-85	1-2-85
ISSUED	1-2-85	1-2-85
ISSUED	1-2-85	1-2-85

SITE PLAN
PARTIAL ENTRANCE PLAN
PARKING DETAILS
SYMBOL LEGEND
DRAWING NO.



FLOOR PLAN
SCALE 1/8"=1'-0"

LEGEND

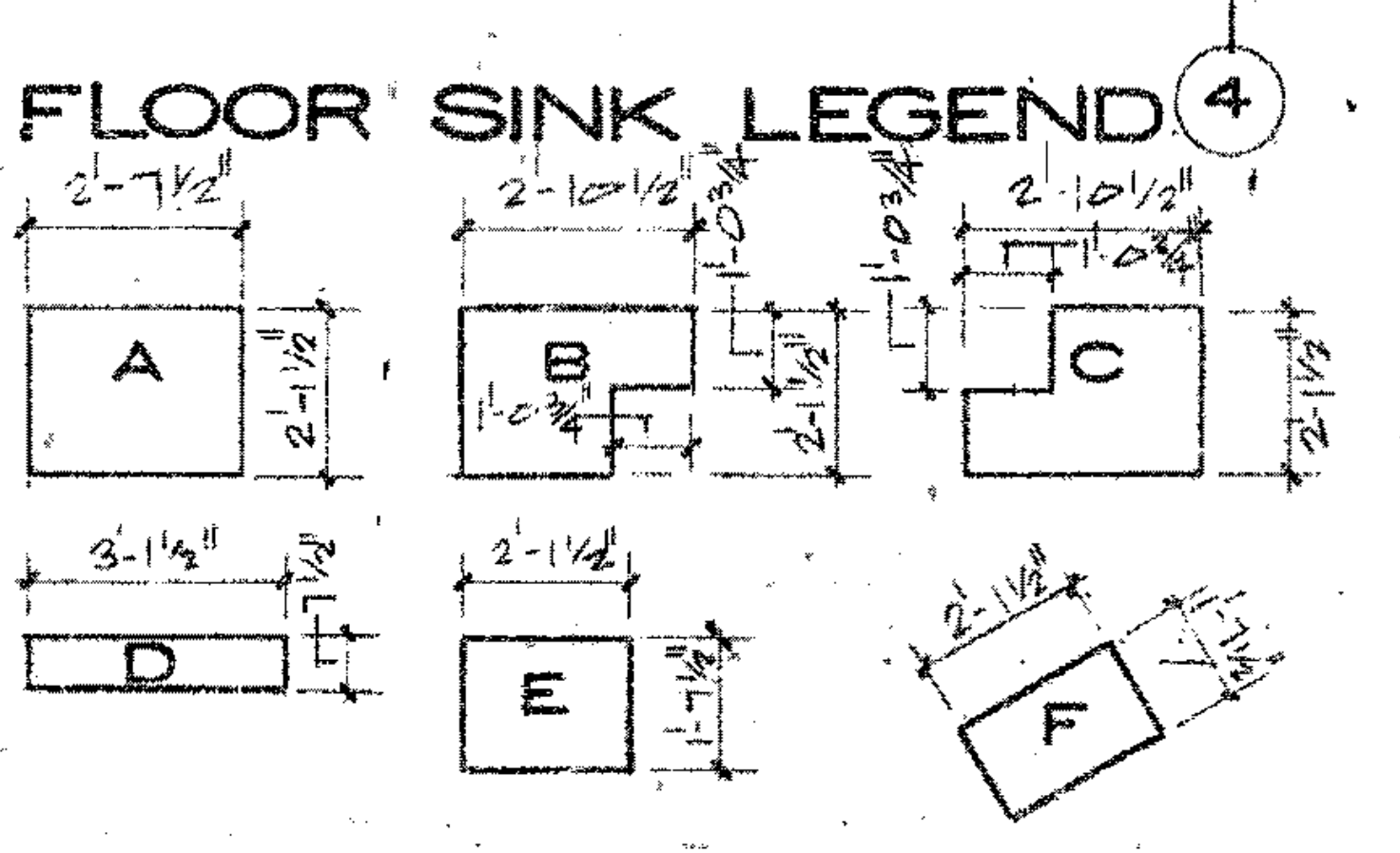
- WALL GUARD
- 8"X8"X16" CONC. BLK
- 4"X8"X16" CONC. BLK
- 4" DRYWALL PARTITION

D.H. DESIGNATES MATERIALS FURNISHED BY DOBBS HOUSES INC. & INSTALLED BY CONT.

WORK PHASING NOTE
SUBSEQUENT OFFICE LINEN FRAMES & PARTS TO STRUCTURE SHALL NOT BE INSTALLED UNTIL ALL A/C LINE VENTILATION EQUIP. ROOFING, EQUIP. SCREENS AND ALL OTHER DEAD LOADS ON THE STRUCTURAL TEES IN THAT AREA HAVE BEEN PLACED

BUILDING DATA

DRY STORAGE/ WAREHOUSE STORAGE	4,267 S.F.	19.4 %
COMMERCIAL KITCHENS	6,093 S.F.	27.8 %
STORAGE	7,702 S.F.	35.1 %
OFFICE SPACE	1,944 S.F.	8.9 %
LOCKER ROOM/BATHROOM	654 S.F.	2.9 %
WALLS & PARTITIONS	1,307 S.F.	5.9 %
TOTAL BUILDING AREA	21,957 S.F.	100.0 %



NOTES:

1) CONTRACTOR TO PROVIDE ONE -ABC-TYPE TWO -A- 10BC RATED FIRE EXTINGUISHER FOR EACH 2500S.F. SEE FLOOR PLAN FOR LOCATION.

2) CONTRACTOR TO BE RESPONSIBLE TO MAINTAIN PROPER HEAD ROOM UNDER FIRST FLOOR STRUCTURE THE INSTALLATION AND MAINTENANCE OF ALL UTILITIES.

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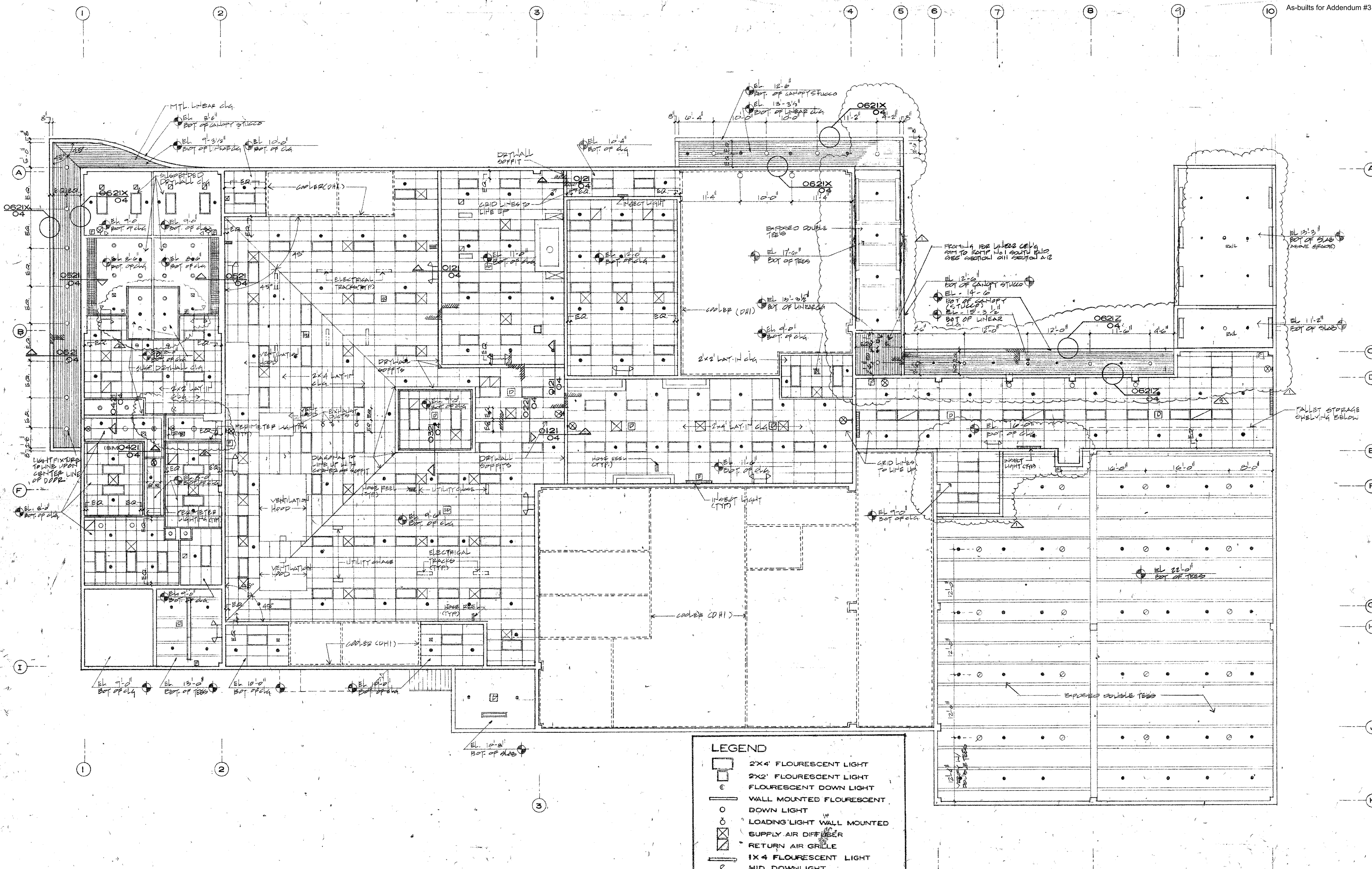
COMMISSARY FOR:
DOBBS HOUSES INC.
AT
BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

CLIENT APPRO	DATE
JGS/TA/FC	11-21-85
DRAWN	DATE
D.C.T.	1-21-86
APPROVED	DATE
BUILDING	1-21-86
ISSUED	DATE
85-23	108

FLOOR PLAN

DRAWING NO. **A3** OF 24

200-10



REFLECTED CEILING PLAN
SCALE 1/8"=1'-0"



NOTE:
ELEVATION REMARKS SHOULD REFLECT THE CLG HEIGHT ABOVE FINISHED FLOOR FOR INDIVIDUAL SPACES.
CONTACTING SHALL COVER SPENCER LOCATIONS W/ DHI, AND SUBMIT TO ARCHITECT FOR APPROVAL.

LEGEND

	2'x4' FLOURESCENT LIGHT
	2'x2' FLOURESCENT LIGHT
	FLOURESCENT DOWN LIGHT
	WALL MOUNTED FLOURESCENT DOWN LIGHT
	LOADING LIGHT WALL MOUNTED
	SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE
	1X4 FLOURESCENT LIGHT
	HID DOWNLIGHT
	EMERGENCY EXIT SIGN
	SMOKE DETECTORS
	EMERGENCY EXIT LIGHTS
	INSECT LIGHT
	HEAT DETECTOR
	FIRE ALARM
	FIRE SPRINKLER HEAD
	WALL WASH DOWN LIGHT

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COMMISSARY FOR:
DOBBS HOUSES INC.
AT
BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

CLIENT APPRO	DATE	DATE	DATE	DATE
JSS/TAL/EC	1-2-98	1-2-98	1-21-98	1-21-98
DRAWN				
DDT				
APPROVED				
BIDDING				
ISSUED				
RS-23				
305-710				

REFLECTED CEILING PLAN
DRAWING NO. A4-024

100-10

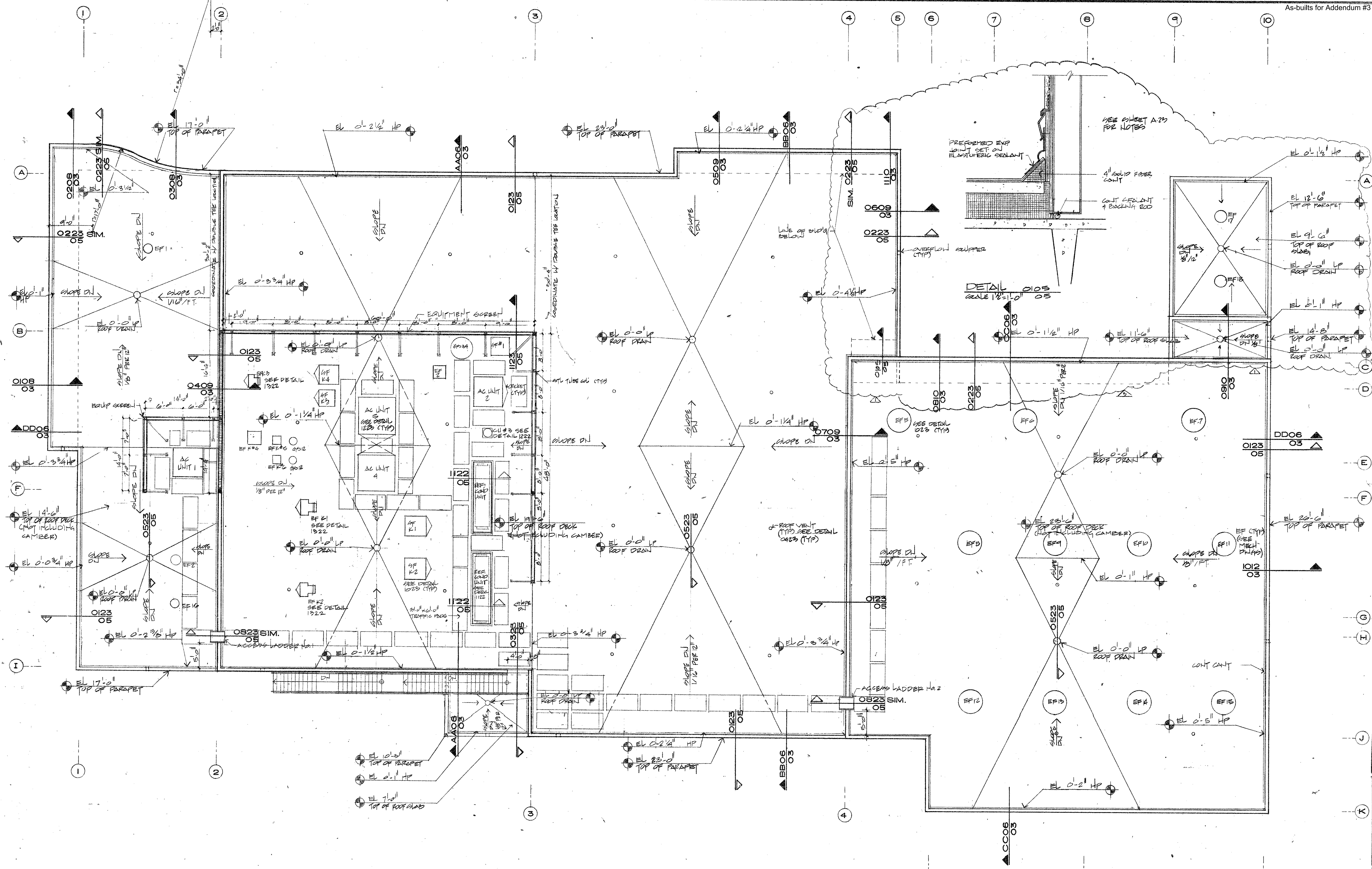
NO.	DATE	APPROVED
1	11-21-85	JOS/TA/FC
2	1-21-86	DDT
3	1-21-86	BIDDING
4	1-21-86	ISSUED
5	95-23	JOS/TA/FC
6	12-28-95	JOS/TA/FC
7	12-28-95	JOS/TA/FC
8	12-28-95	JOS/TA/FC
9	12-28-95	JOS/TA/FC
10	12-28-95	JOS/TA/FC

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COMMISSARY FOR:
DOBBS HOUSES INC.
 AT
MIAMI INTERNATIONAL AIRPORT
 BUILDING 3074

CLIENT APPRO	DATE
JOS/TA/FC	11-21-85
DRAWN	DATE
DDT	1-21-86
APPROVED	DATE
BIDDING	1-21-86
ISSUED	DATE
95-23	DATE
JOS/TA/FC	DATE
95-23	DATE
JOS/TA/FC	DATE
95-23	DATE

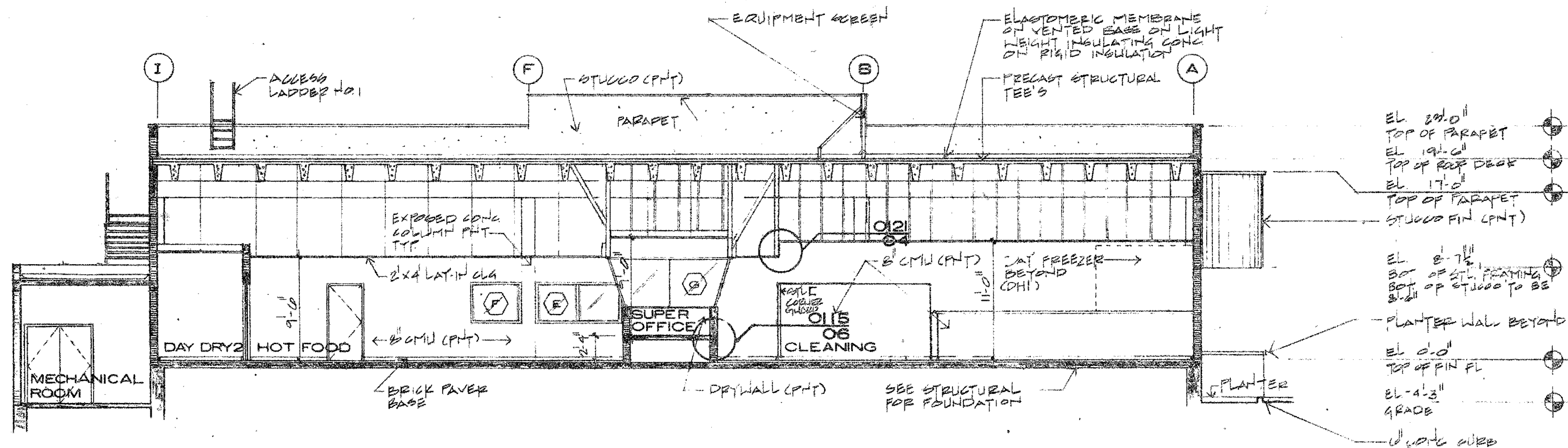
ROOF PLAN	
DRAWING NO. A5 OF 24	



ROOF PLAN
 SCALE 1/8"=1'-0"

NOTE

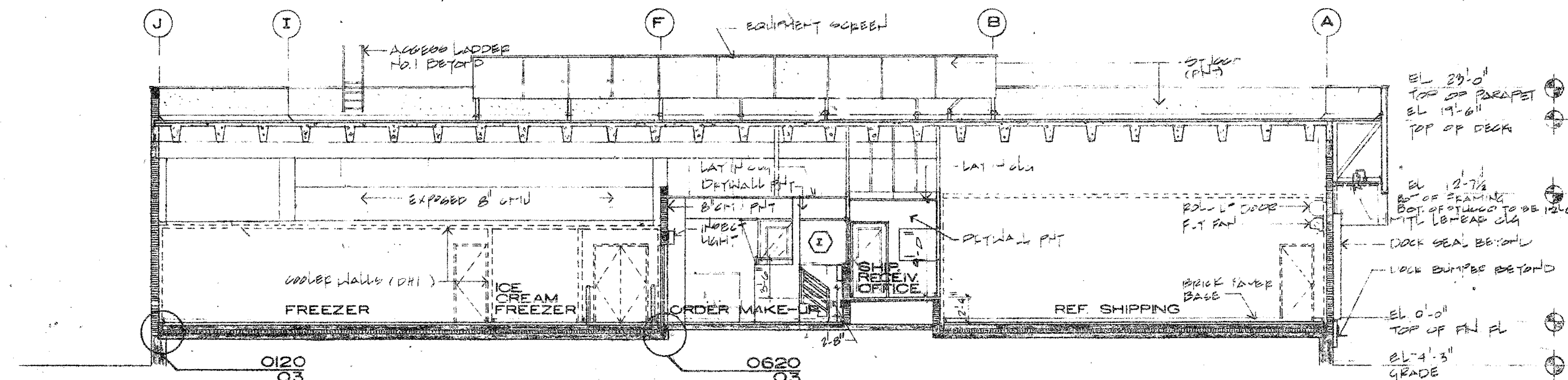
- ELEVATION OF DRAWINGS SET AT 0'-0" IN REFERENCE TO SLOPING OF ROOF INSULATION FOR EACH ROOF LEVEL.
- CONTRACTOR TO COORDINATE ALL OPENINGS IN ROOF DECK W/ ROOF STRUCTURE, ROOF PLAN & MECH EQUIP SUBMITTALS.
- CONTRACTOR TO COORDINATE ALL PRE-FABRICATED ROOF CURBS FLASHING CONDITIONS W/ ACTUAL EQUIPMENT SUBMITTALS PROVIDED BY OWNER FOR FLASHING CONDITIONS PER NEW APPROVAL.



DETAIL 0106
SCALE 3/4" = 1'-0" 03

DETAIL 0206
SCALE 1 1/2" = 1'-0" 07

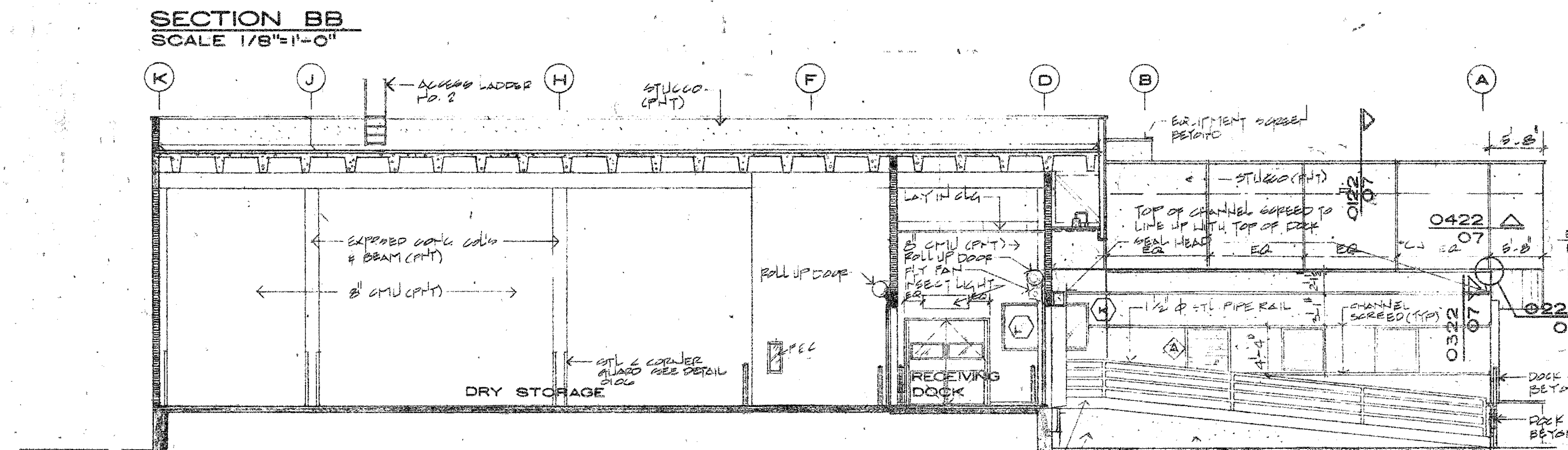
DETAIL 0306
SCALE 1 1/2" = 1'-0" 07



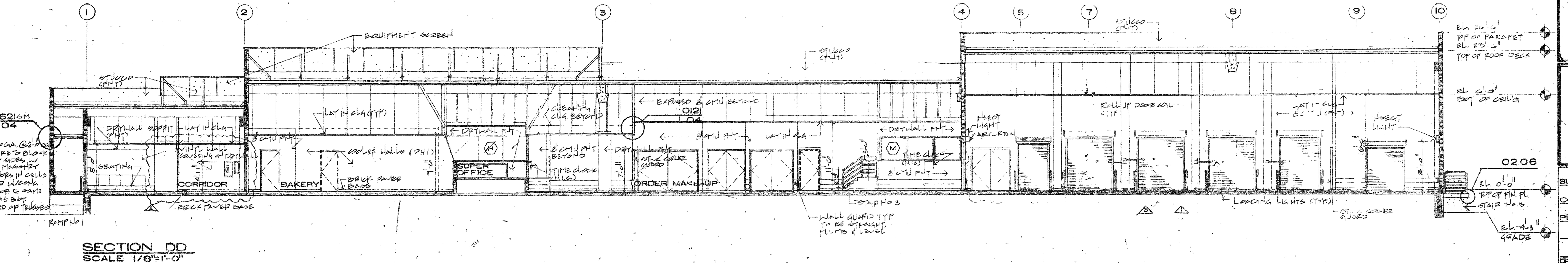
STAIR NO. 6 PLAN
SCALE 1/4" = 1'-0"

SECTION 0506
SCALE 1/4" = 1'-0" 06

WALL SECTION 0406
SCALE 3/4" = 1'-0" 03



SECTION DD
SCALE 1/8" = 1'-0"



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COMMISSARY FOR:
DOBBS HOUSES INC.
AT
BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

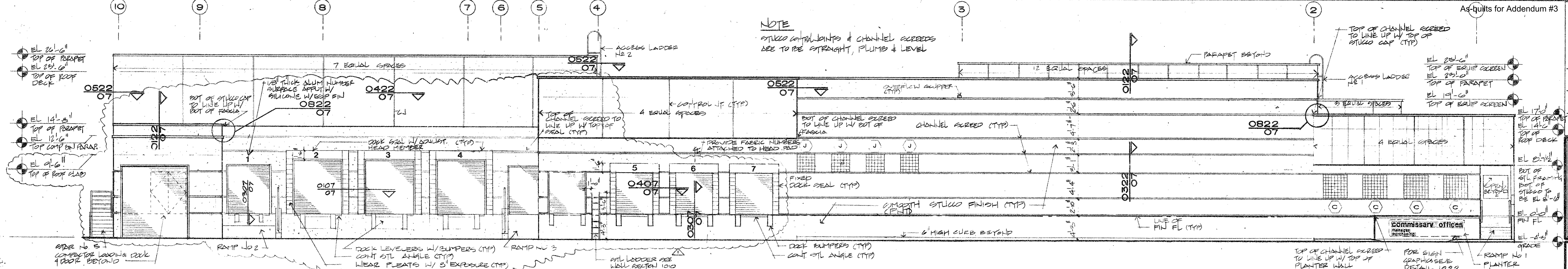
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ISSUED FOR	DATE	11-21-98
APPROVED	DATE	11-21-98
BIDDING ISSUED	DATE	11-21-98
ISSUED	DATE	11-21-98

BUILDING SECTIONS
CONDENSING UNIT
PLATFORM

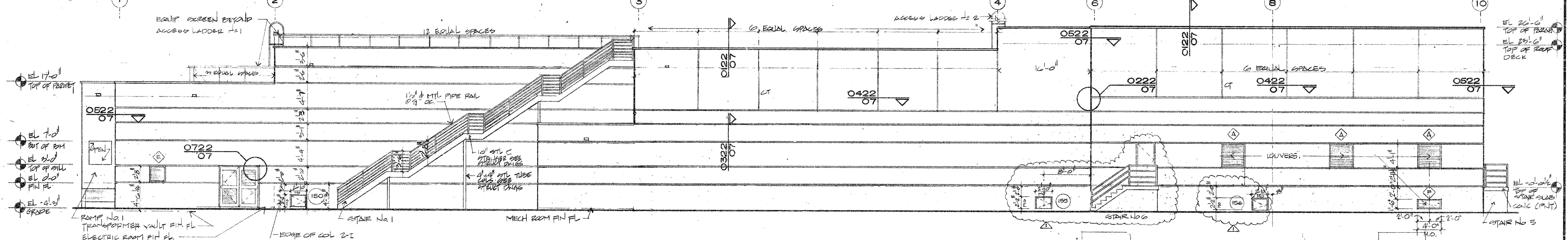
DRAWING NO. **A6** OF **24**

20070

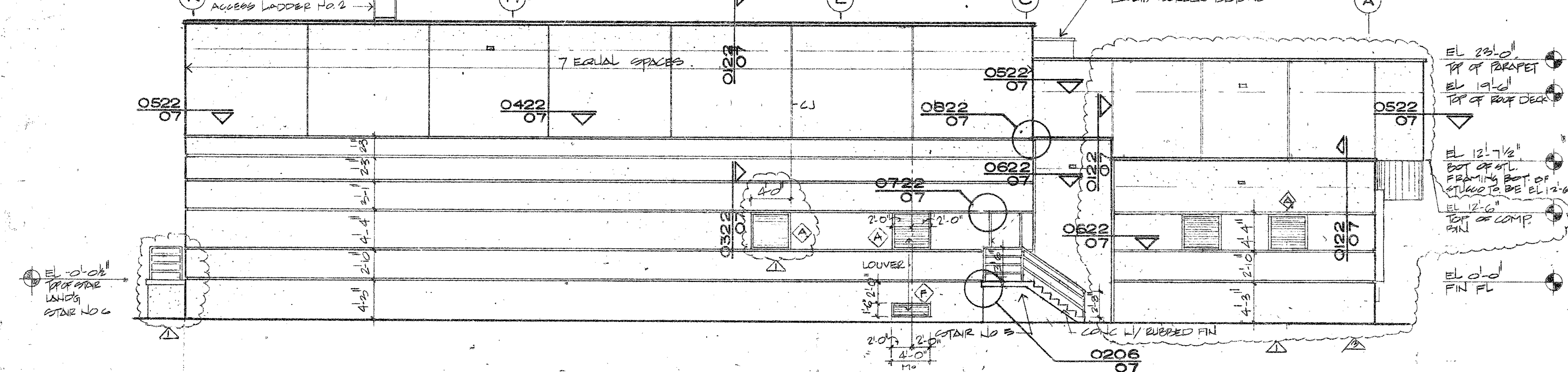
NOTE
STUCCO CONTROL JOINTS & CHANNEL SCREENS
ARE TO BE STRAIGHT, PLUMB & LEVEL



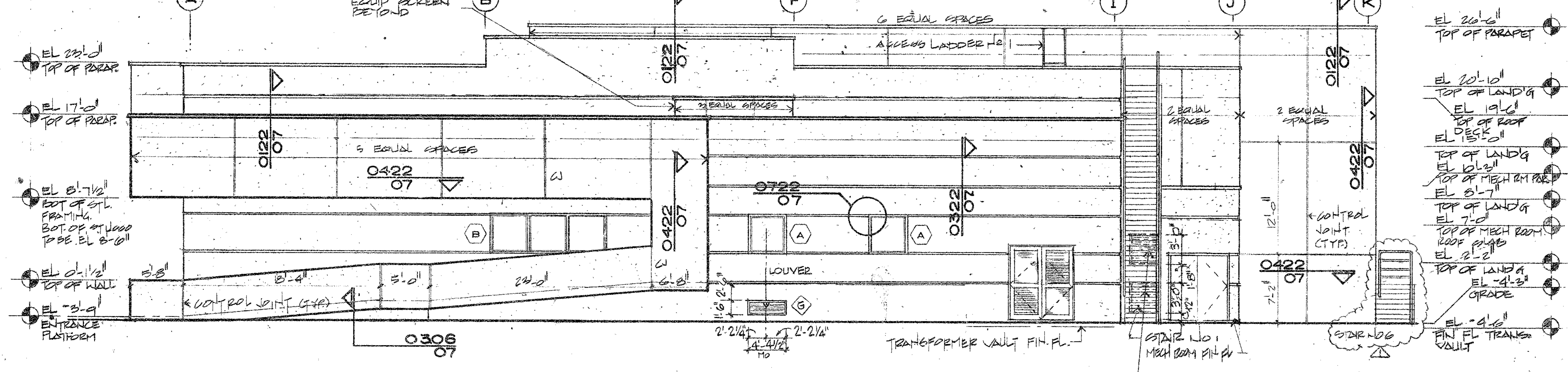
NORTHWEST ELEVATION
SCALE 1/8"=1'-0"



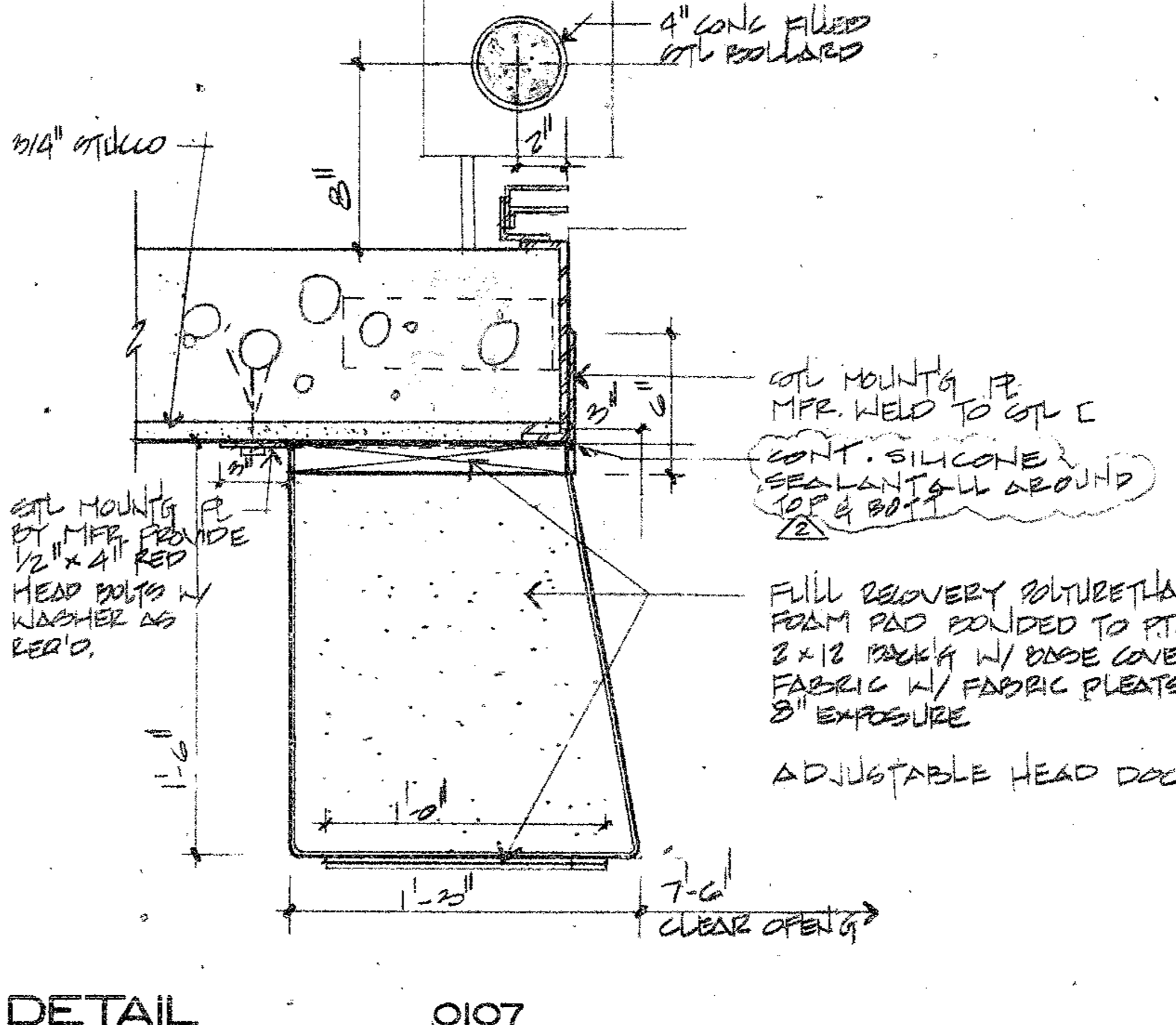
SOUTHEAST ELEVATION
SCALE 1/8"=1'-0"



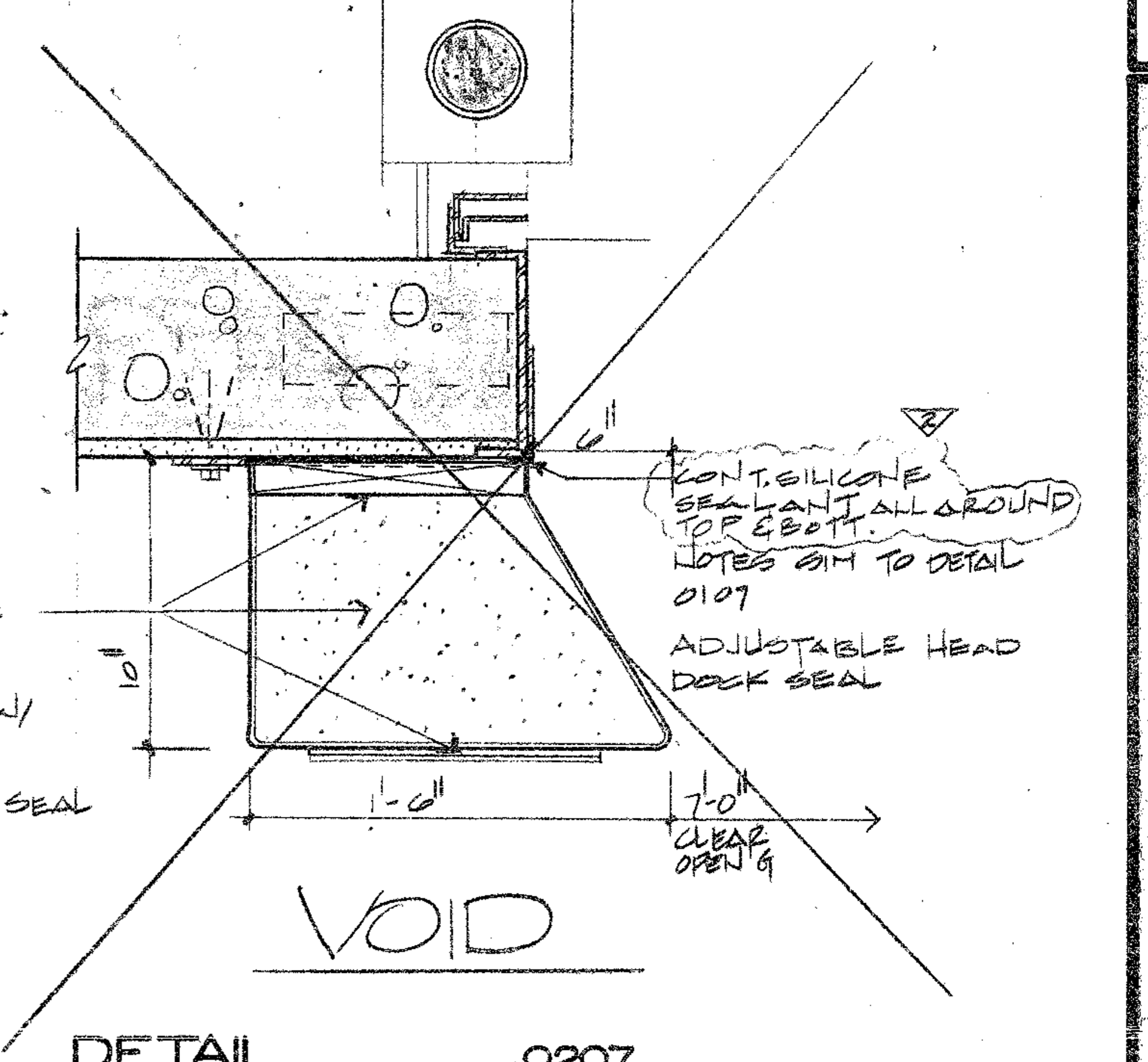
NORTHEAST ELEVATION
SCALE 1/8"=1'-0"



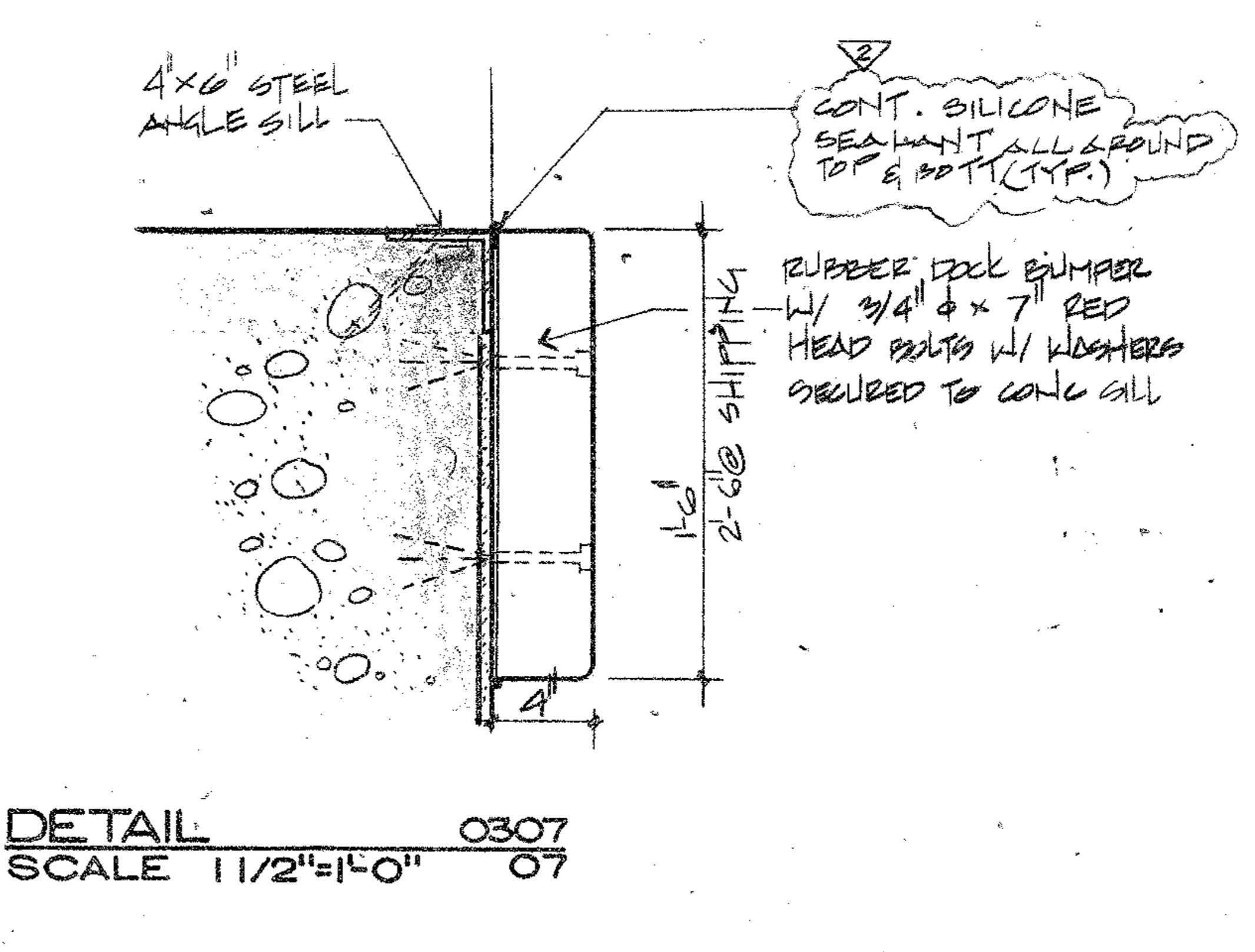
SOUTHWEST ELEVATION
SCALE 1/8"=1'-0"



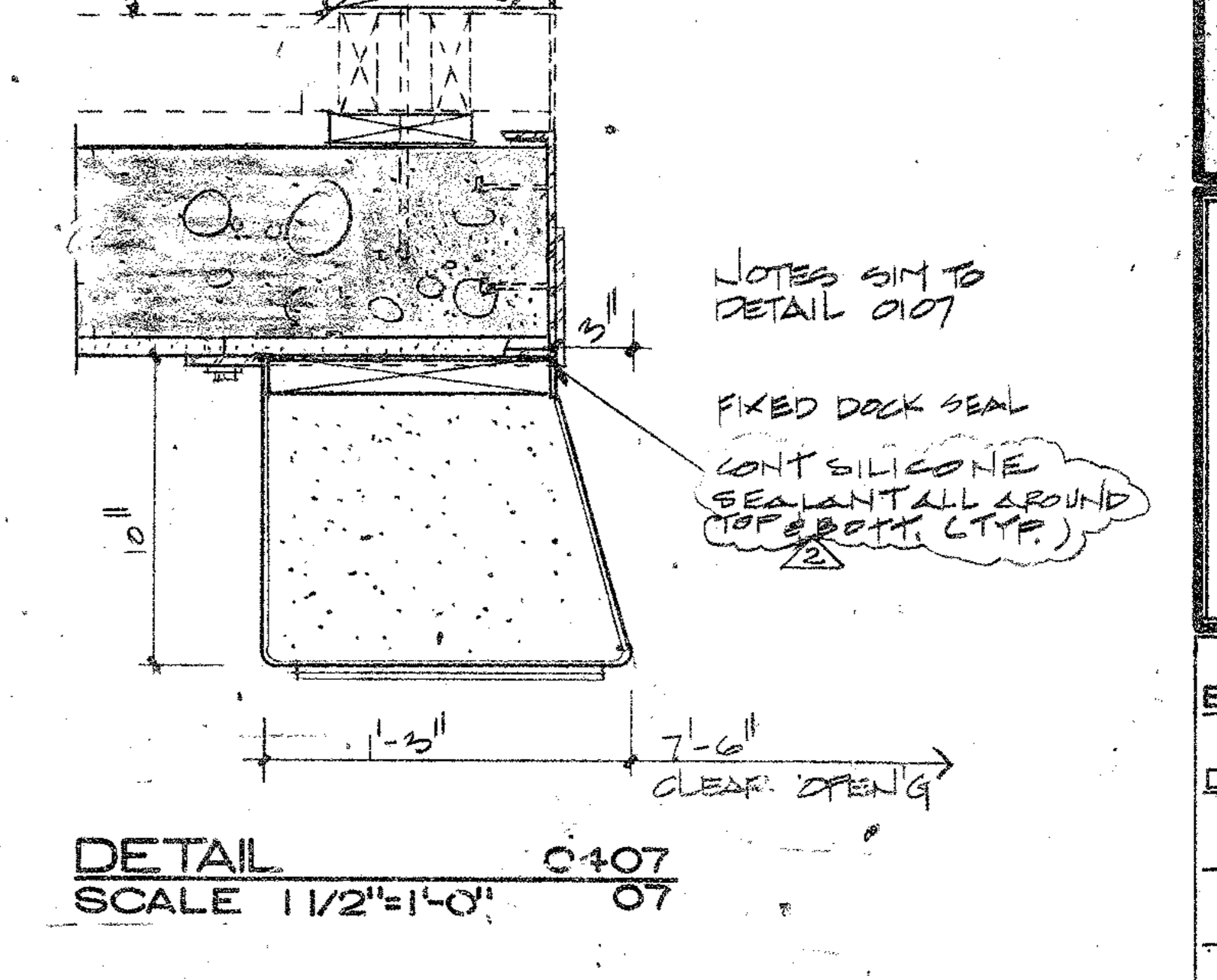
DETAIL
SCALE 1 1/2"=1'-0"



DETAIL
SCALE 1 1/2"=1'-0"



DETAIL
SCALE 1 1/2"=1'-0"



DETAIL
SCALE 1 1/2"=1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	12-2-85	ISSUED FOR PERMITS
2	1-21-86	ISSUED FOR PERMITS
3	1-21-86	ISSUED FOR PERMITS
4	1-21-86	ISSUED FOR PERMITS
5	1-21-86	ISSUED FOR PERMITS
6	1-21-86	ISSUED FOR PERMITS
7	1-21-86	ISSUED FOR PERMITS
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10	1-21-86	ISSUED FOR PERMITS

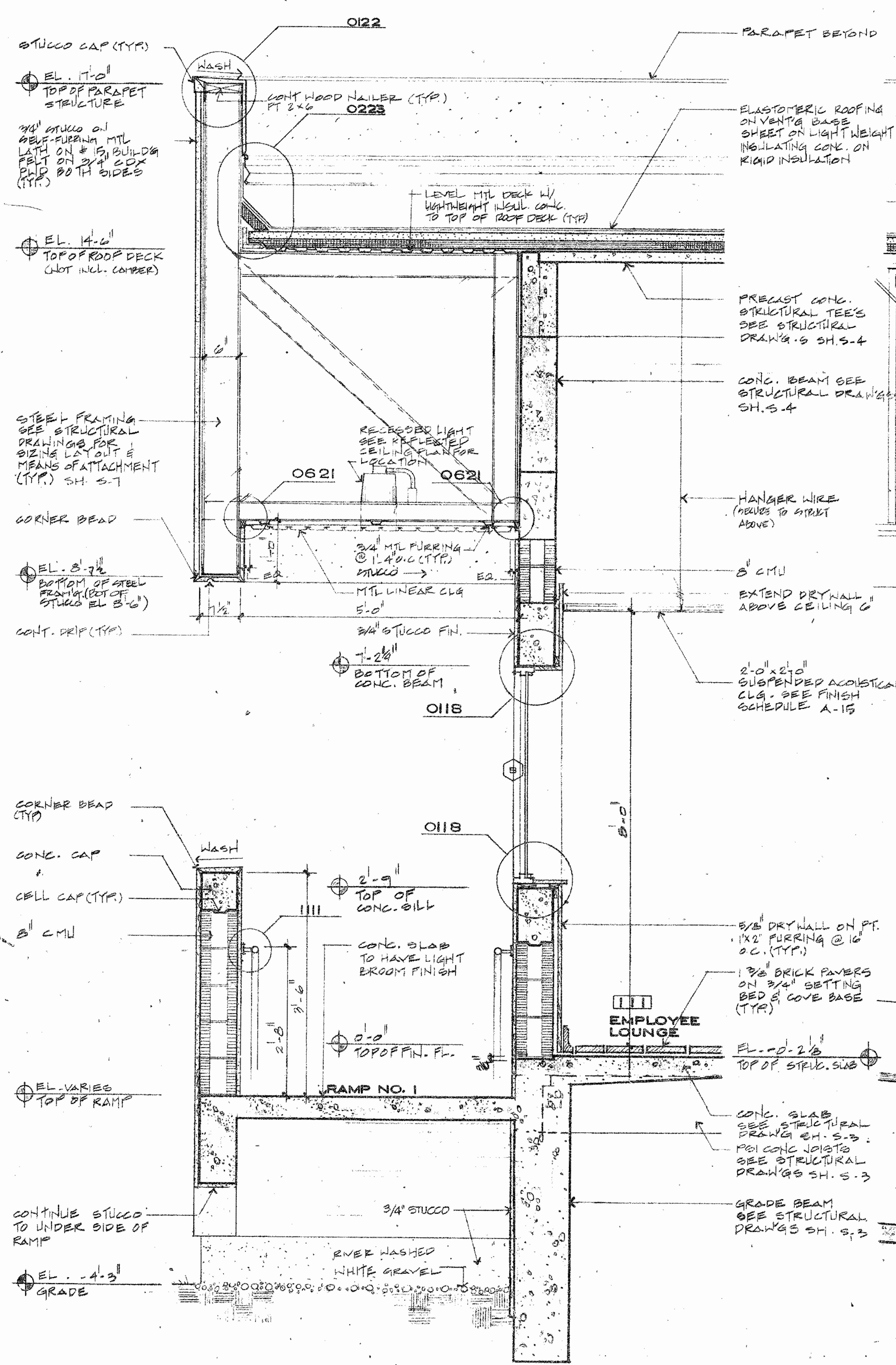
TINNEY-RUIZ & PARTNERS, P.A.
Architecture • Interior Design
10005 SW 24th ST., MIAMI, FLORIDA 33146. Telephone (305)-491-0268.

COMMISSARY FOR:
DOEBBS HOUSES INC.
AT
BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

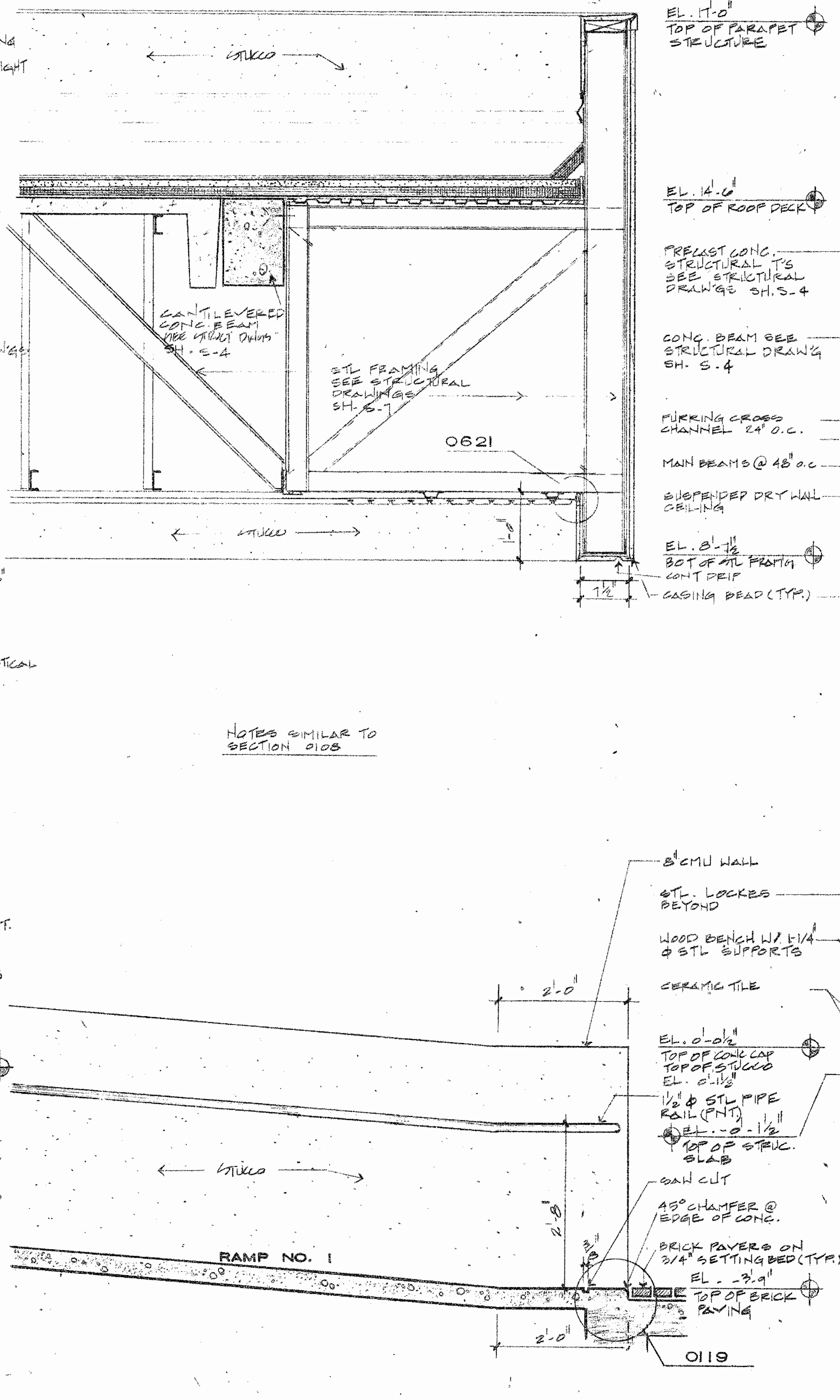
ELEVATIONS

CLIENT	APPRO.	DATE
JSS/TAC	1-21-85	DATE
DOT	1-21-86	DATE
ISSUED	1-21-86	DATE
ISSUED	1-21-86	DATE
ISSUED	1-21-86	DATE

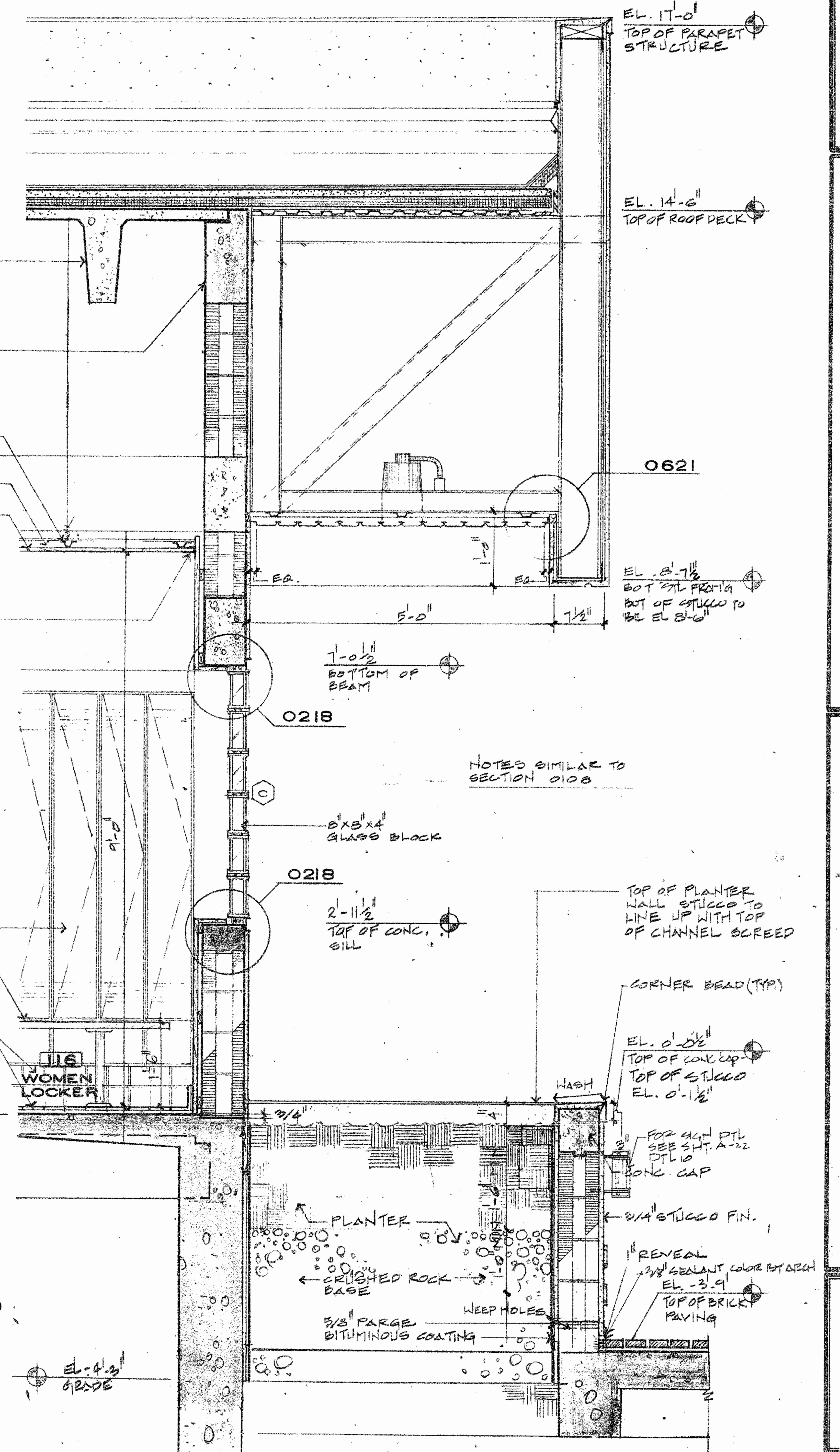
NO.	DATE	APPROVED	REVISIONS



WALL SECTION 0108 SCALE 3/4" = 1'-0" 03



WALL SECTION 0208 SCALE 3/4" = 1'-0" 03



WALL SECTION 0308 SCALE 3/4" = 1'-0" 03

NOTES SIMILAR TO SECTION 0108

NOTES SIMILAR TO SECTION 0108

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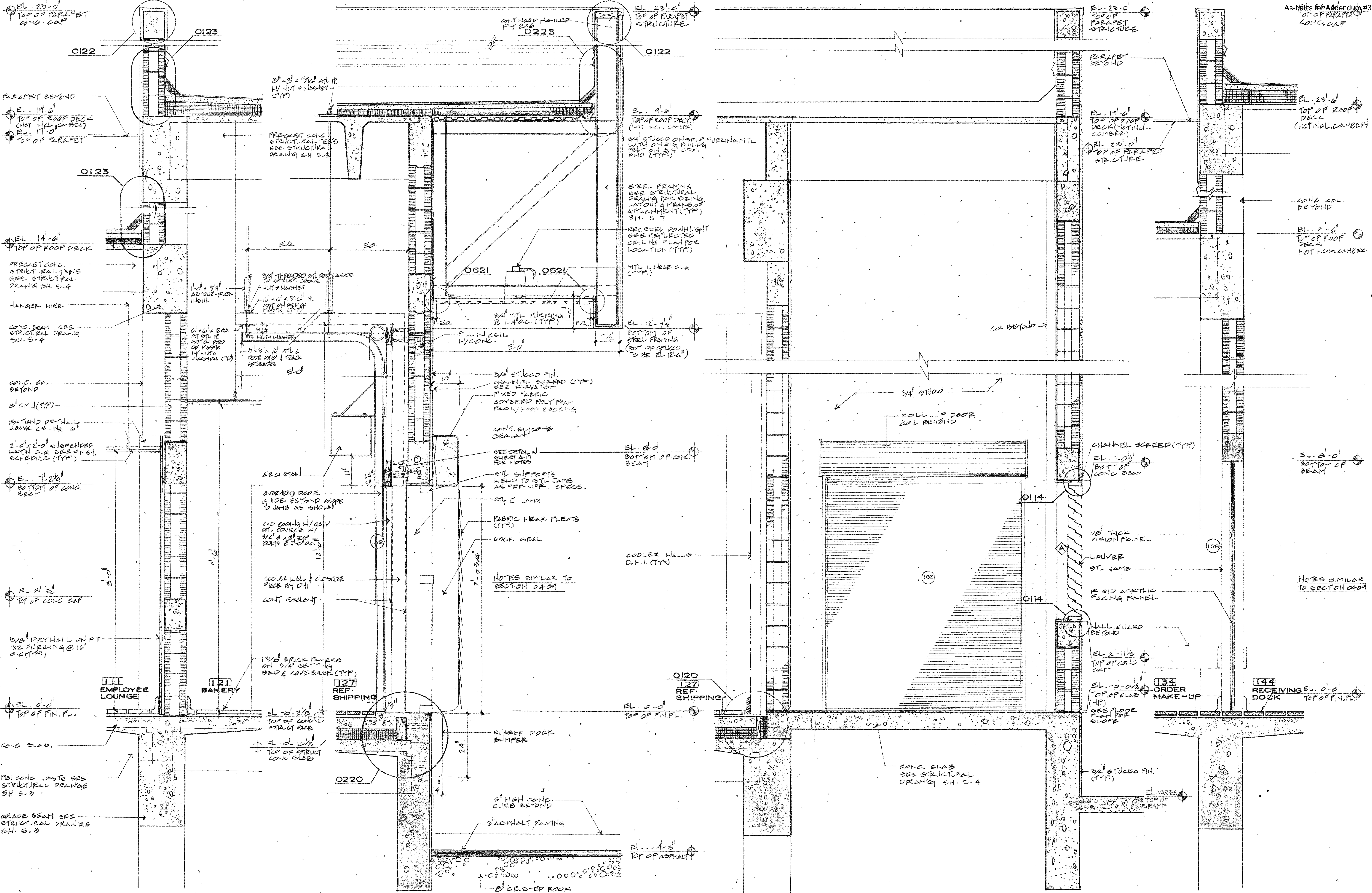
CLIENT APP'D	DATE	DATE	DATE	DATE	DATE
JCS/TAF/EC	11-21-85	11-21-85	1-21-86	1-21-86	1-21-86
DRAWN					
APPROVED					
ISSUED					
NO.	95-23				
JOB NO.					

WALL SECTIONS

DRAWING NO.

AB OF 24

200-10



WALL SECTION 0409
SCALE 3/4" = 1'-0"
03

WALL SECTION 0509
SCALE 3/4" = 1'-0"
03

WALL SECTION 0609
SCALE 3/4" = 1'-0"
03

WALL SECTION 0709
SCALE 3/4" = 1'-0"
03

DATE	APPROVED
1-21-86	JCS/TAF/FC
1-21-86	DDT
1-21-86	BIDDING
1-21-86	ISSUED
85-23	JOB NO.

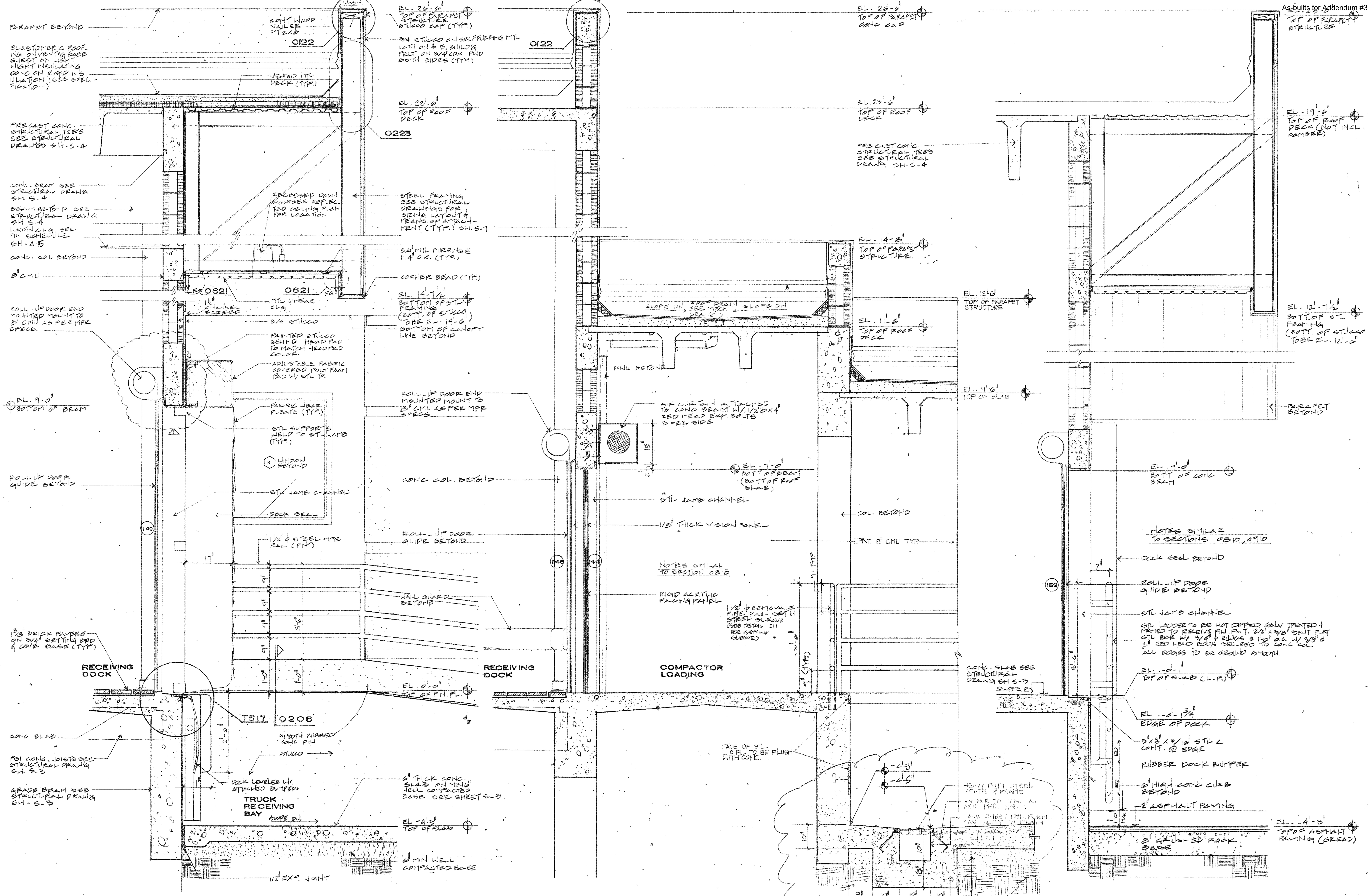
NO.	DATE	REVISIONS

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3692 SW 24th ST., MIAMI, FLORIDA 33135. Telephone (305) 444-0268.

COMMISSARY FOR:
DOBBS HOUSES INC.
AT
BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

DATE	APPROVED
1-21-86	JCS/TAF/FC
1-21-86	DDT
1-21-86	BIDDING
1-21-86	ISSUED
85-23	JOB NO.

WALL SECTIONS



WALL SECTION 0810
SCALE 3/4" = 1'-0"
03

WALL SECTION 0910
SCALE 3/4" = 1'-0"
03

WALL SECTION 1010
SCALE 3/4" = 1'-0"
03

NO.	DATE	REVISION
1	5-12-86	CONTRACTOR MOD.
2	9-24-86	CONTRACTOR MOD.
3	12-29-86	AS-BUILT
4	12-29-86	DATE APPROVED

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AT
BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

CLIENT APPRO	DATE	DATE	DATE	DATE
JCS/TA/FC	11-21-85	1-21-86	1-21-86	1-21-86
DRAWN		APPROVED	ISSUED	
DDT				
BIDDING				
85-23				

WALL SECTIONS
DRAWING NO. A10 OF 24

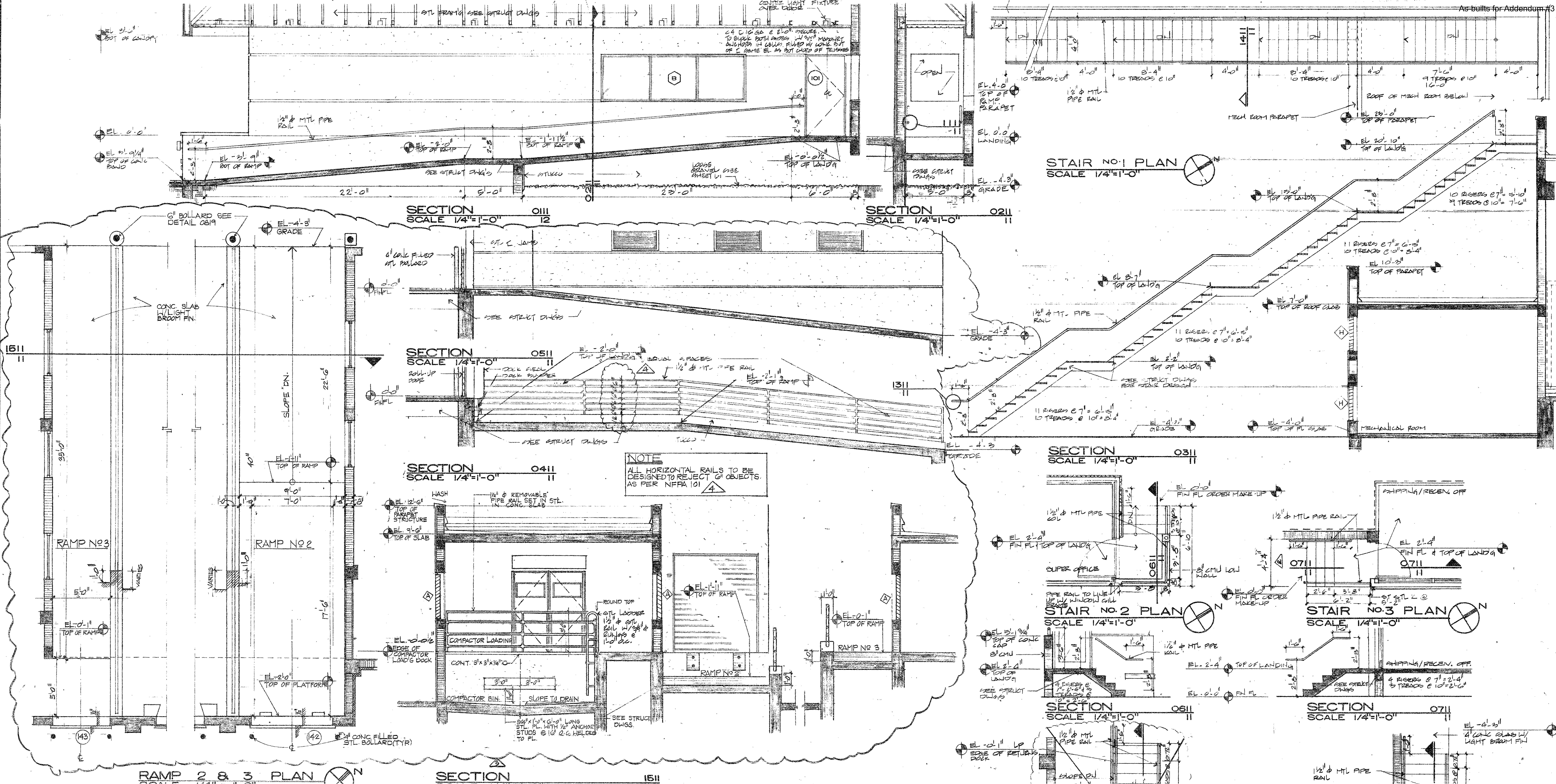
20070

NO.	DATE	REVISIONS
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2	1-21-86	ISSUED FOR PERMITS
3	1-21-86	ISSUED FOR PERMITS
4	1-21-86	ISSUED FOR PERMITS
5	1-21-86	ISSUED FOR PERMITS
6	1-21-86	ISSUED FOR PERMITS
7	1-21-86	ISSUED FOR PERMITS
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9	1-21-86	ISSUED FOR PERMITS
10	1-21-86	ISSUED FOR PERMITS

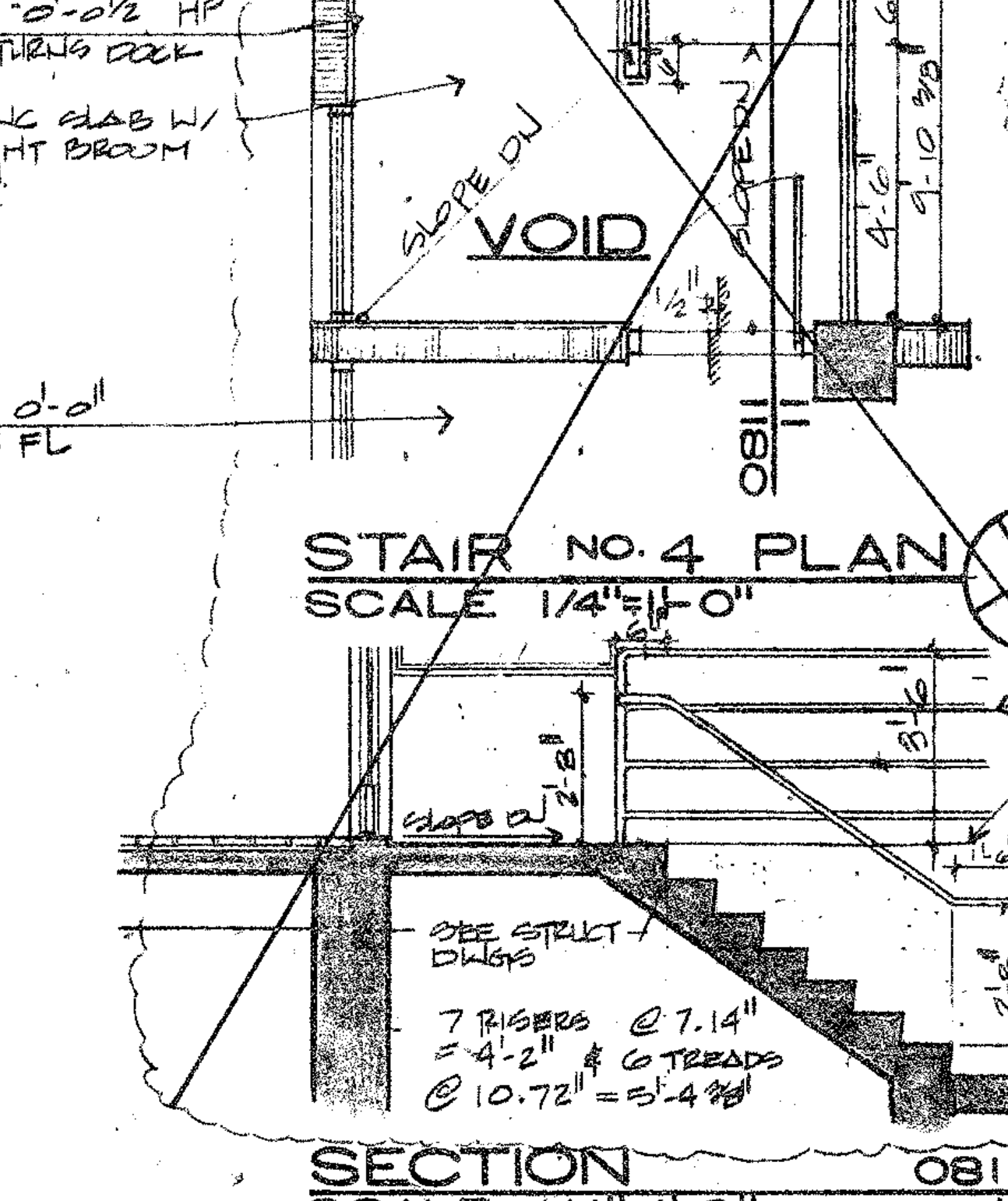
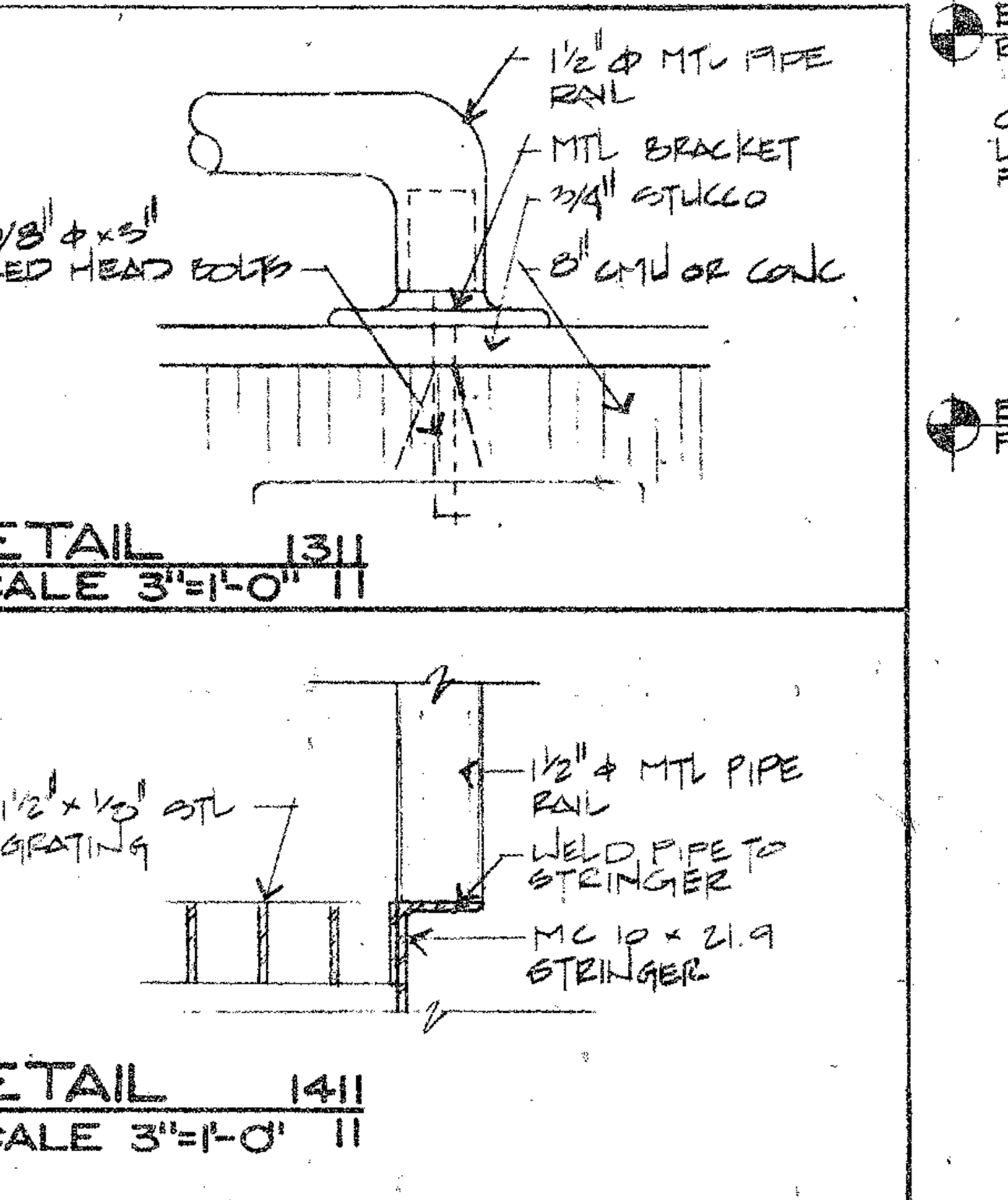
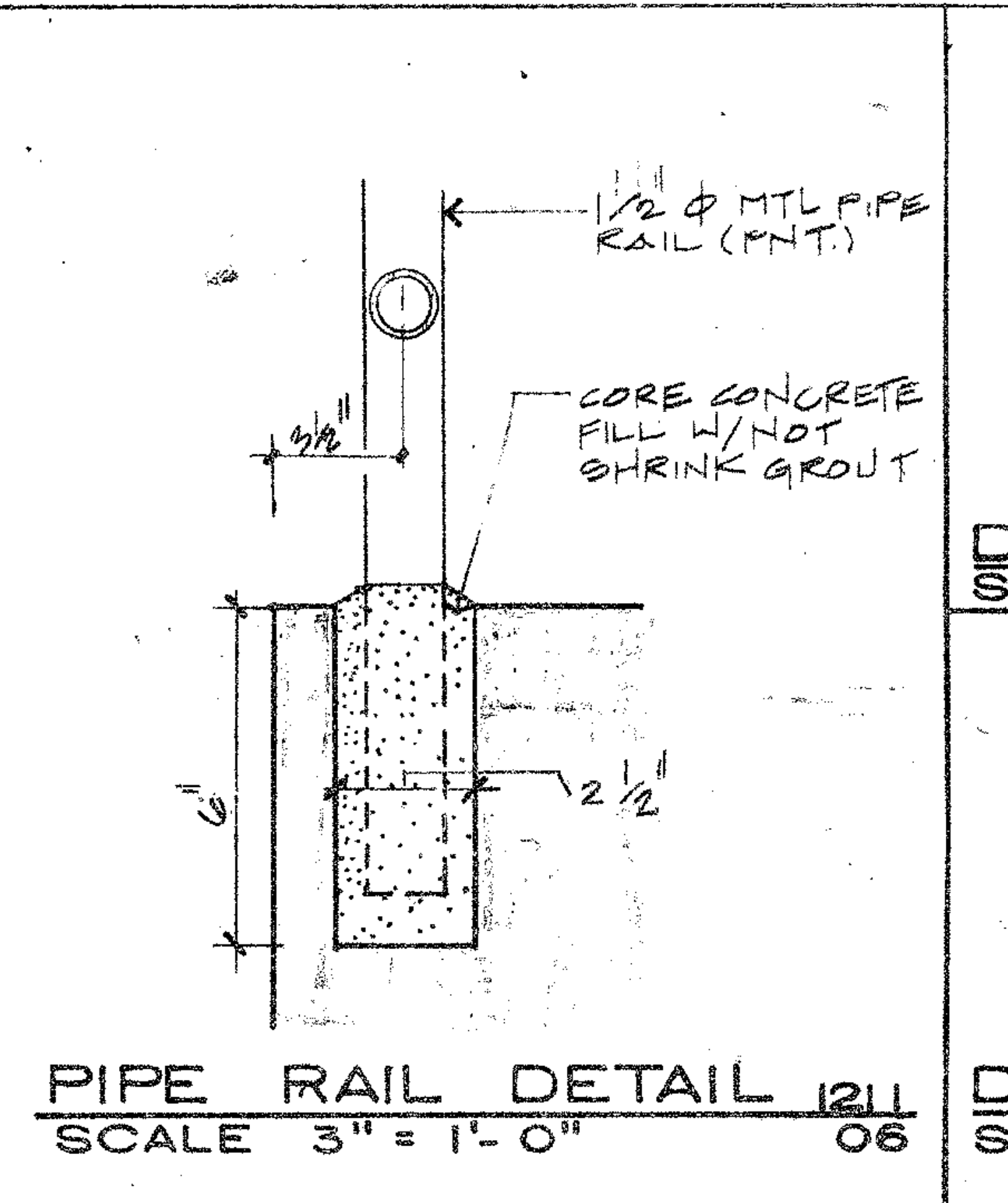
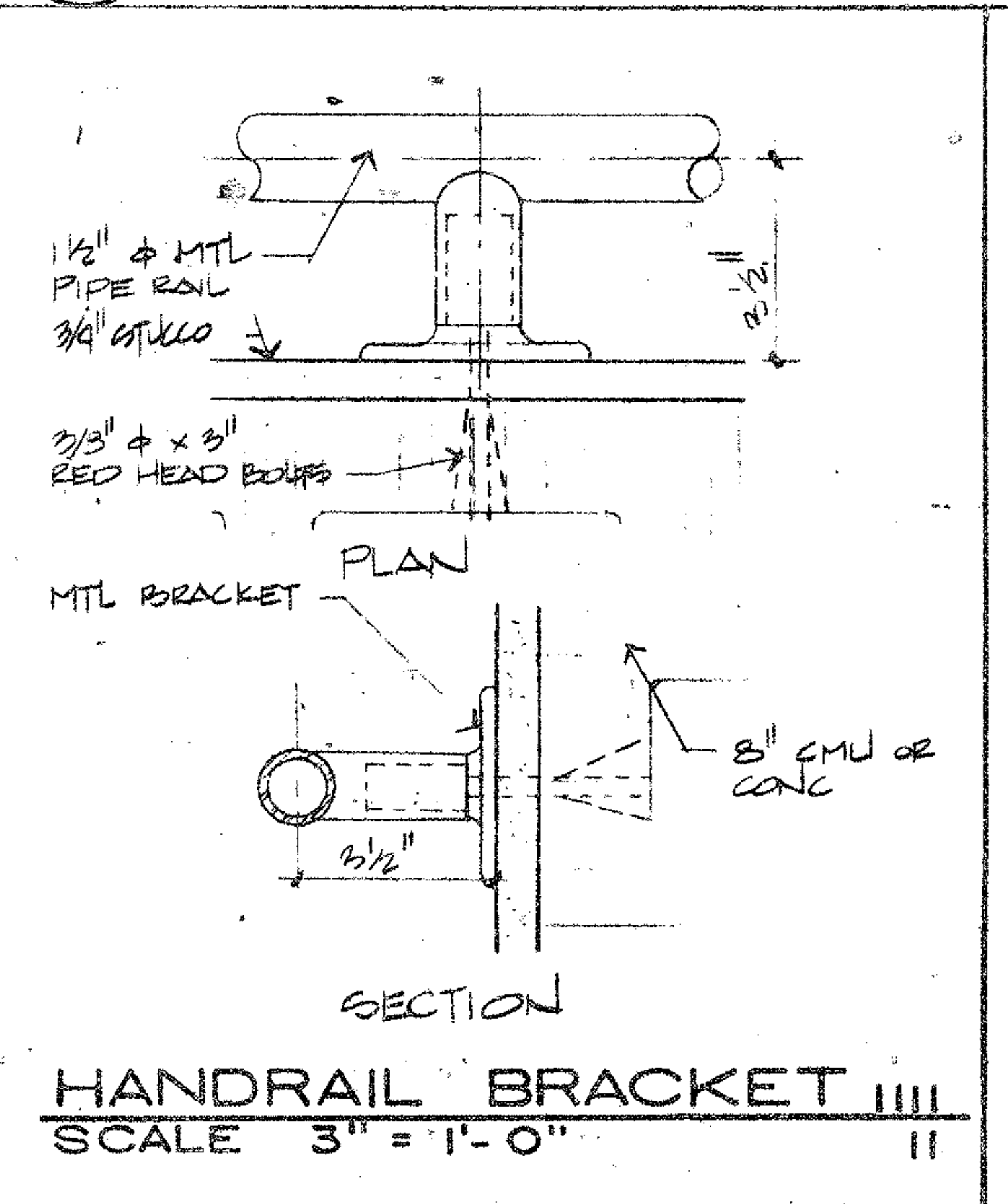
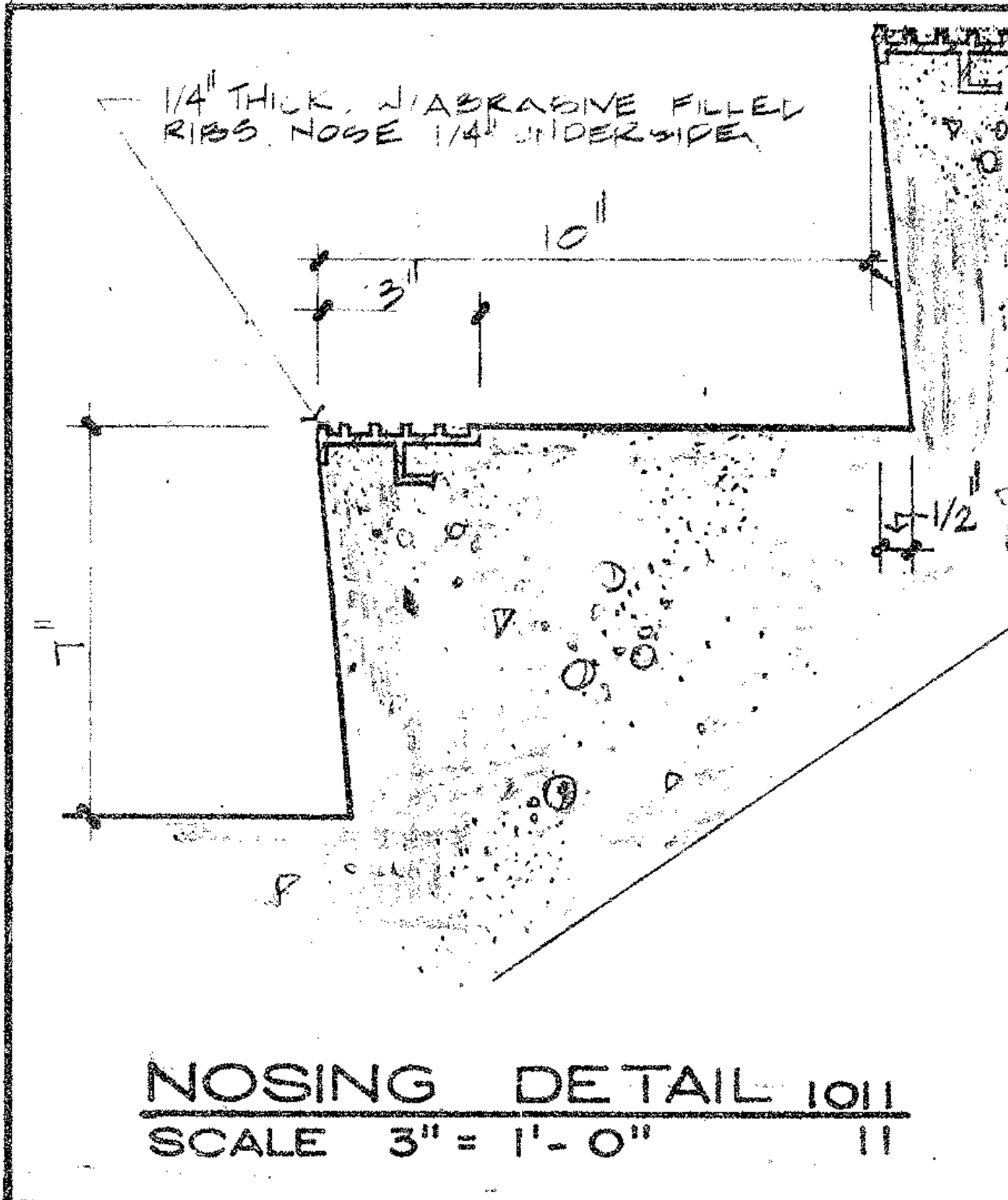
TINNEY-RUIZ & PARTNERS, P.A.
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 3692 S.W. 24th ST. MIAMI, FLORIDA 33145. Telephone (305)-441-0268

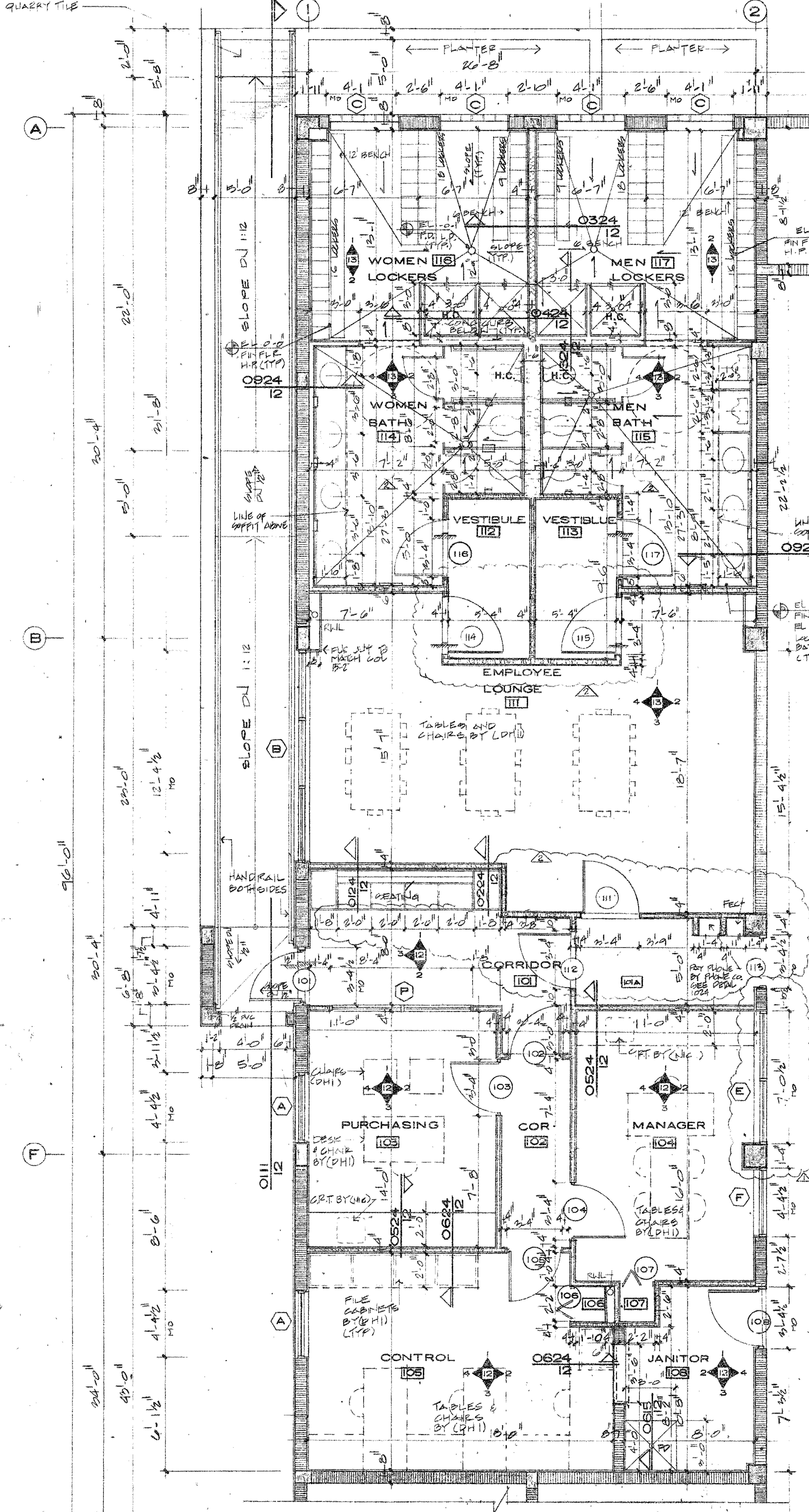
COMMISSARY FOR:
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 AT
MIAMI INTERNATIONAL AIRPORT
 BUILDING 3074

CLIENT	DATE	DATE	DATE	DATE	DATE
ISSUED FOR PERMITS	1-21-86	1-21-86	1-21-86	1-21-86	1-21-86
ISSUED FOR PERMITS	1-21-86	1-21-86	1-21-86	1-21-86	1-21-86
ISSUED FOR PERMITS	1-21-86	1-21-86	1-21-86	1-21-86	1-21-86
ISSUED FOR PERMITS	1-21-86	1-21-86	1-21-86	1-21-86	1-21-86
ISSUED FOR PERMITS	1-21-86	1-21-86	1-21-86	1-21-86	1-21-86

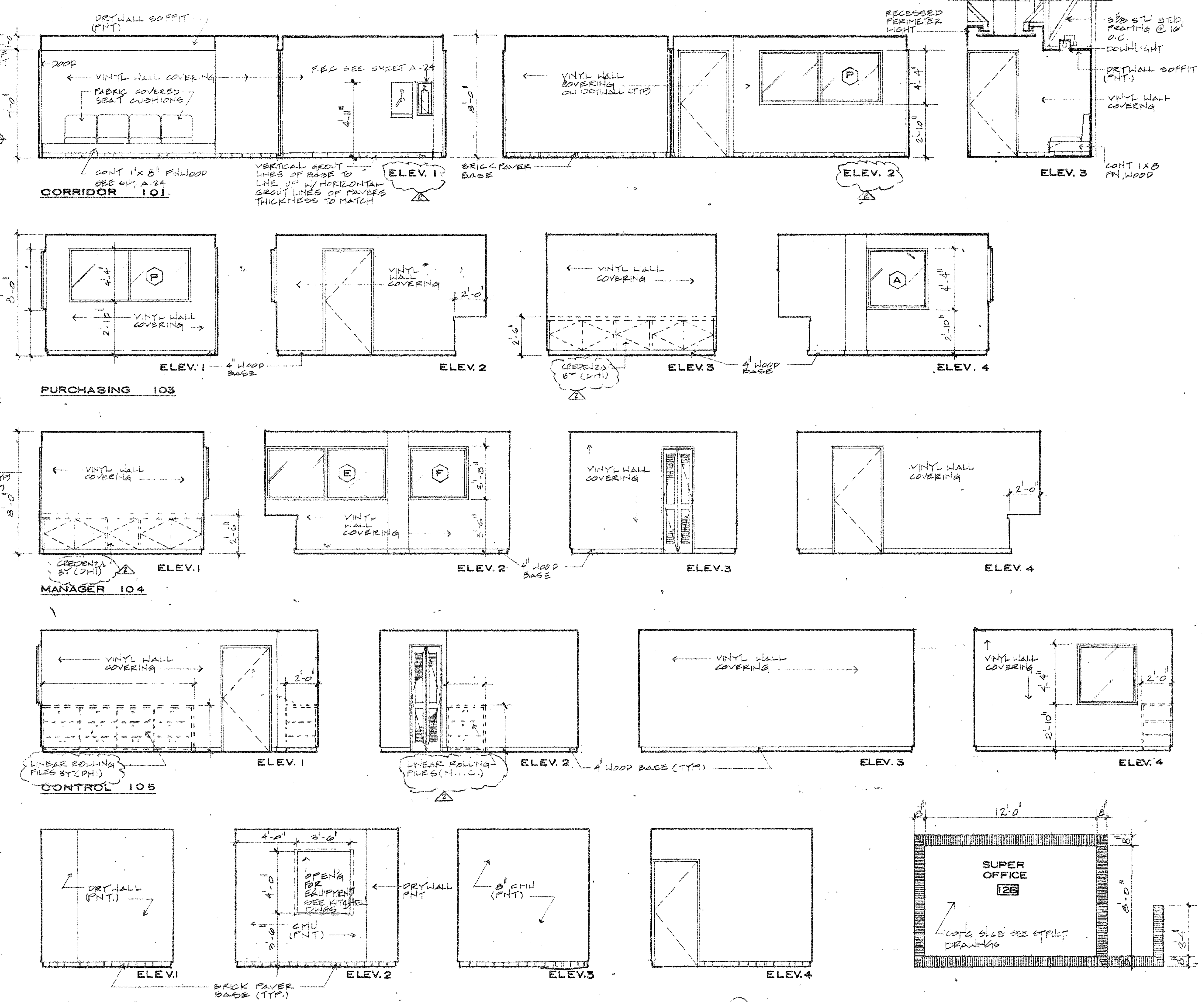


NOTE
 ALL HORIZONTAL RAILS TO BE DESIGNED TO RESIST OBJECTS AS PER NFPA 101

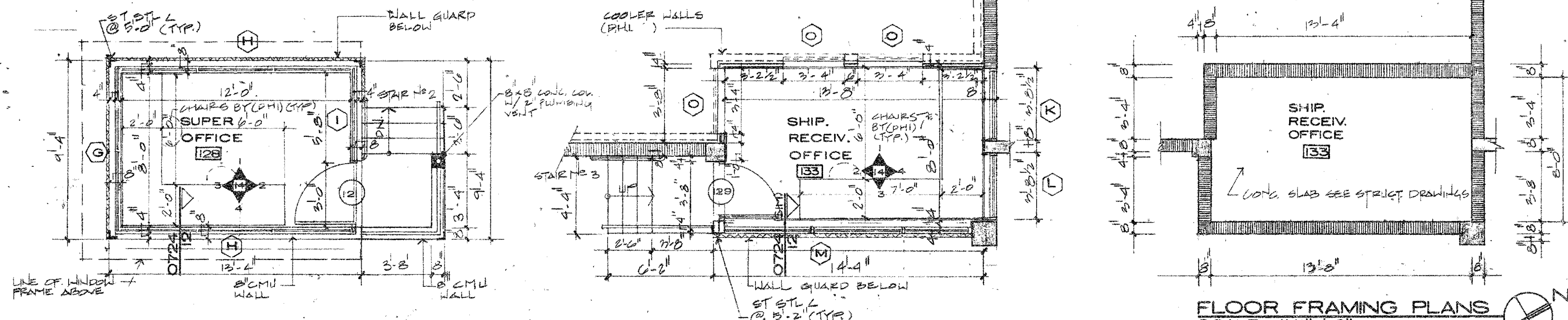




PARTIAL FLOOR PLANS
SCALE 1/4"=1'-0"



INTERIOR ELEVATIONS
SCALE 1/4"=1'-0"



FLOOR FRAMING PLANS
SCALE 1/4"=1'-0"

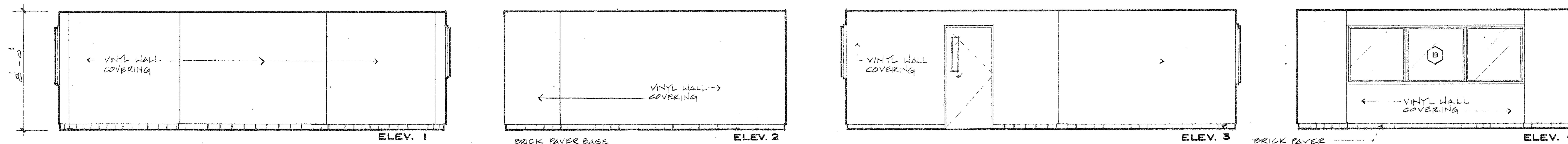
NO.	DATE	REVISIONS
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2	1-21-86	ISSUED FOR PERMITS
3	1-21-86	ISSUED FOR CONSTRUCTION
4	1-21-86	ISSUED FOR AS-BUILTS

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 AT
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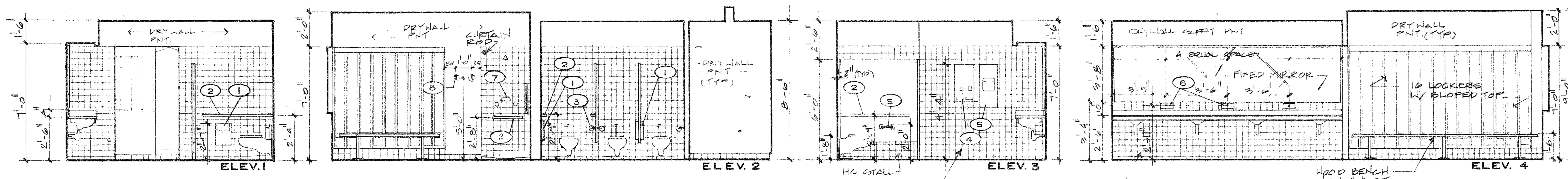
CLIENT APPRO.	DATE	CLIENT APPRO.	DATE
ISS./TRAC.	DATE	ISS./TRAC.	DATE
DRAWN	DATE	DRAWN	DATE
DOT	DATE	DOT	DATE
APPROVED	DATE	APPROVED	DATE
BIDDING	DATE	BIDDING	DATE
ISSUED	DATE	ISSUED	DATE
REV. NO.	DATE	REV. NO.	DATE
JOB NO.	DATE	JOB NO.	DATE

PARTIAL PLANS
 INTERIOR ELEVATION
 FLOOR FRAMING
 PLANS
 DRAWING NO. **A12 OF 24**



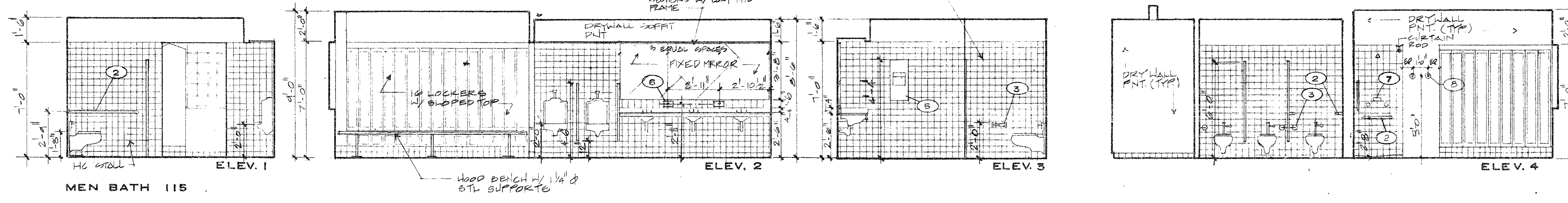
EMPLOYEE LOUNGE 111

BRICK PAVER BASE
VERTICAL GROUT LINE
TO LINE UP W/ HORIZONTAL
GROUT LINES OF PAVERS
THICKNESS TO MATCH

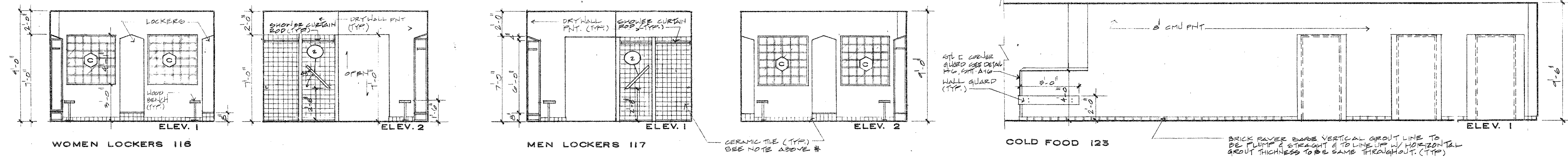


WOMEN BATH 114

EQUIPMENT SCHEDULE	
①	FEMININE NAPKIN DISPOSAL
②	GRAB BAR
③	TOILET TISSUE DISPENSER
④	FEMININE NAPKIN-TAMPON VENDORS
⑤	PAPER TOWEL DISPENSER
⑥	SOAP DISPENSER N.I.C.
⑦	SOAP DISH
⑧	TOWEL HOOKS



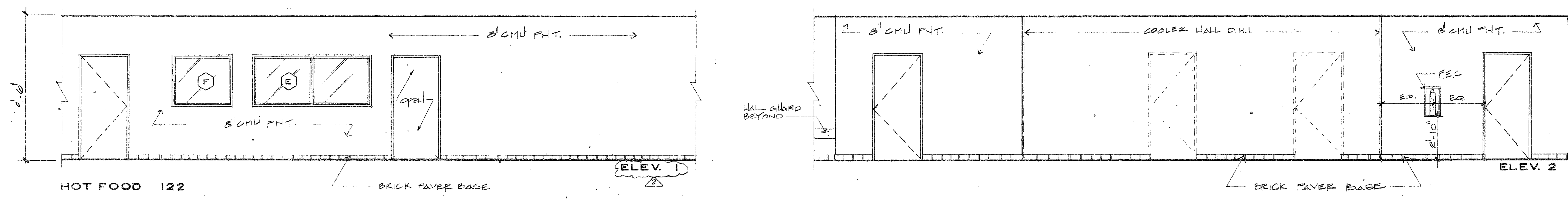
MEN BATH 115



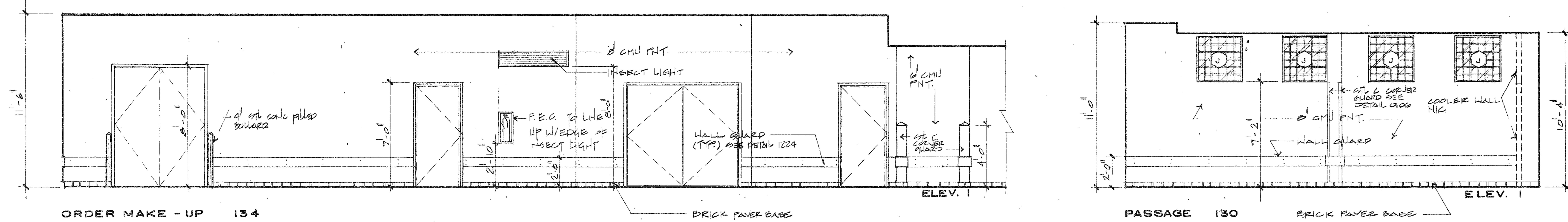
WOMEN LOCKERS 116

MEN LOCKERS 117

COLD FOOD 123



HOT FOOD 122



ORDER MAKE-UP 134

PASSAGE 130

INTERIOR ELEVATIONS
SCALE 1/4"=1'-0"

NO.	DATE	APPROVED	REVISIONS

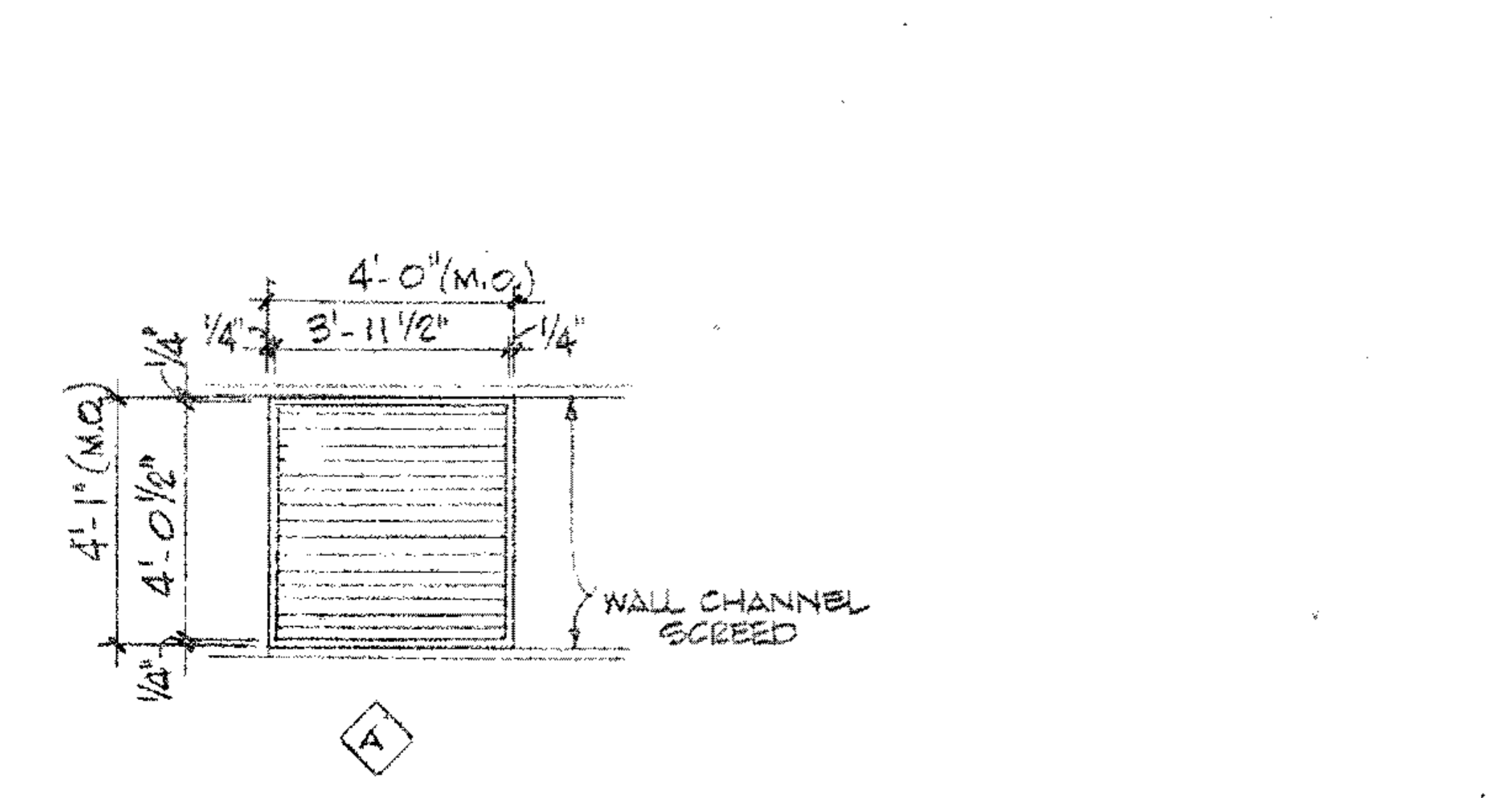
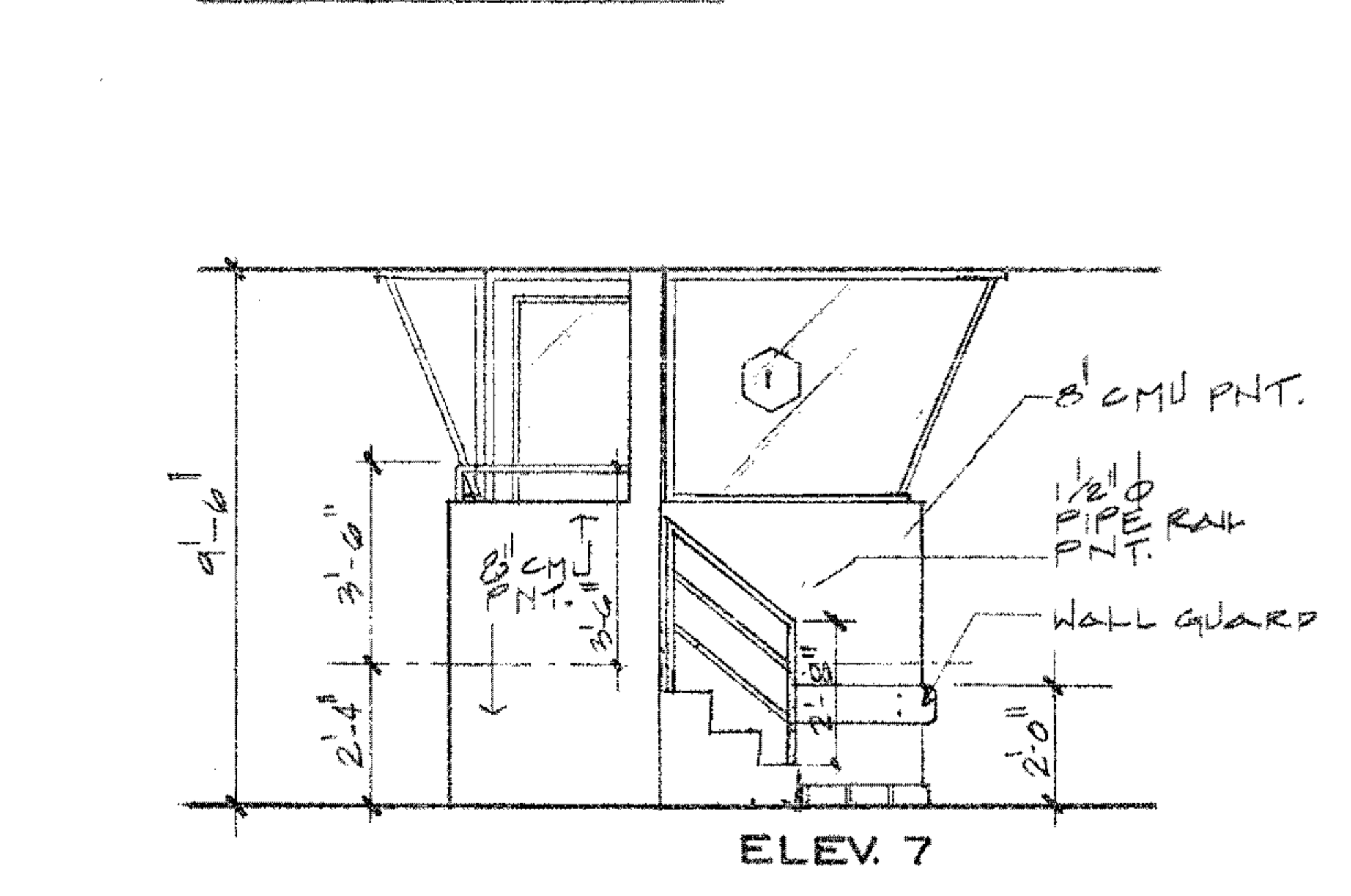
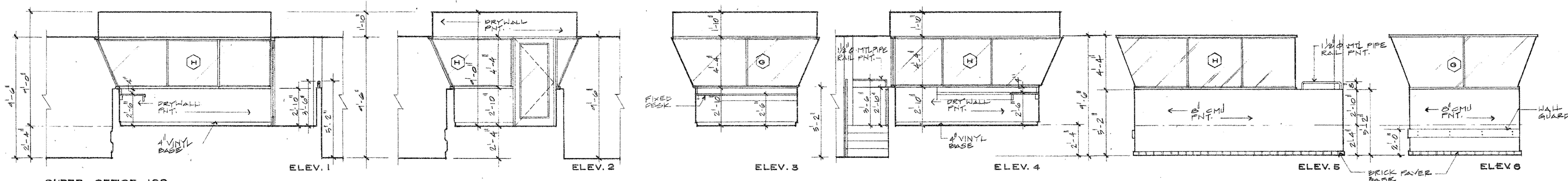
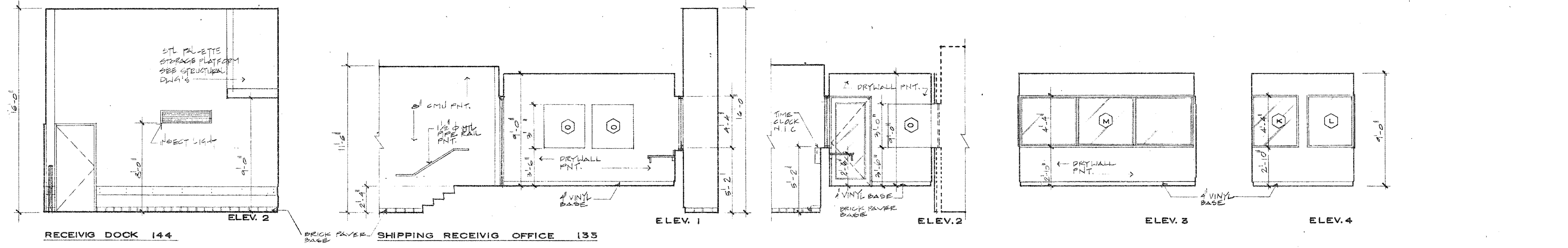
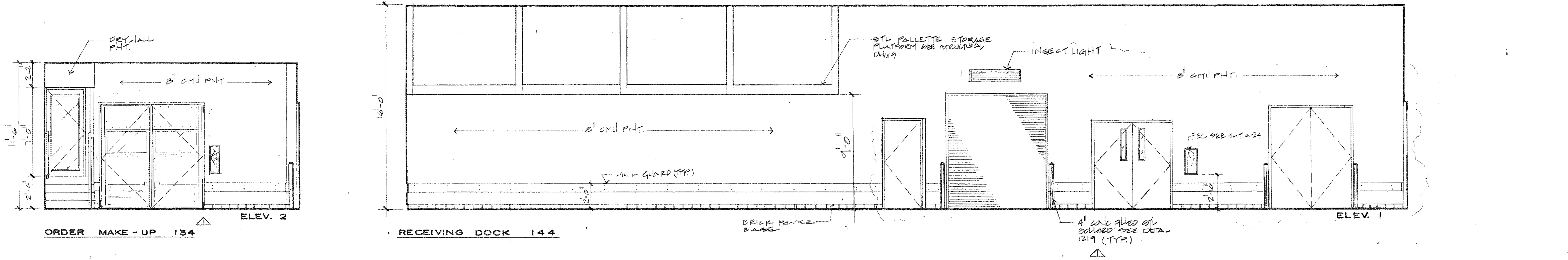
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AT
BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

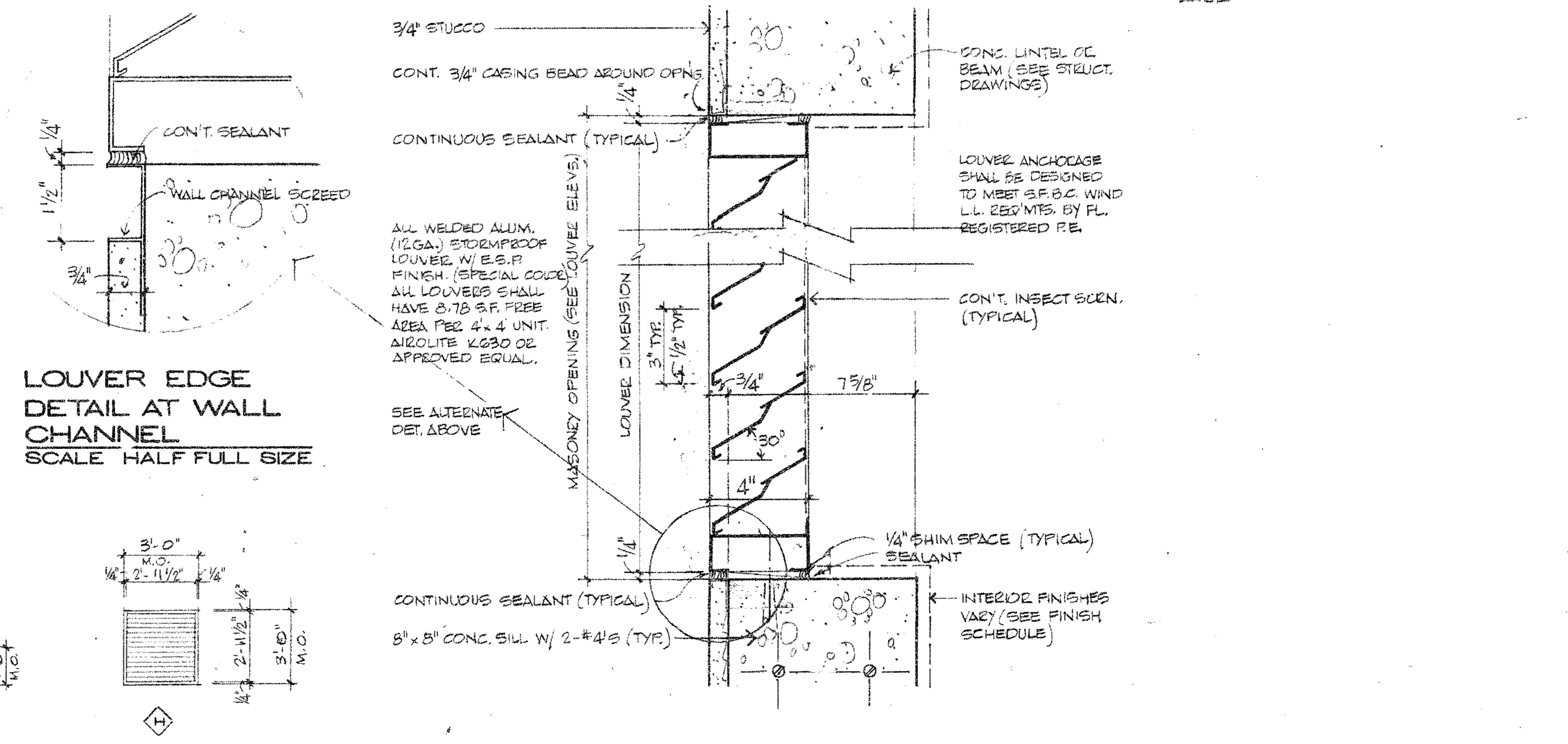
CLIENT APP'D	DATE	JCS/TA/FC	DATE	DRAWN	DATE	DOT	DATE	APPROVED	DATE	BIDDING	DATE	ISSUED	DATE	BS-23	JOB NO.

INTERIOR EL.
DRAWING NO.

20070



TYPICAL LOUVER ELEVATIONS
SCALE 1/4"=1'-0"



LOUVER EDGE DETAIL AT WALL CHANNEL
SCALE HALF FULL SIZE

TYPICAL LOUVER DETAIL
SCALE 3/4"=1'-0"

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 AT
MIAMI INTERNATIONAL AIRPORT
 BUILDING 3074

CLIENT APP'D	DATE	DATE	DATE	DATE	DATE
JOS/TAV/EC					
DRAWN	1-21-86				
DOT	APPROVED	1-21-86	DATE		
BIDDING	ISSUED	1-21-86	DATE		
8523	8523				
JOB NO.					

INTERIOR EL.

DRAWING NO.

A14 OF 24

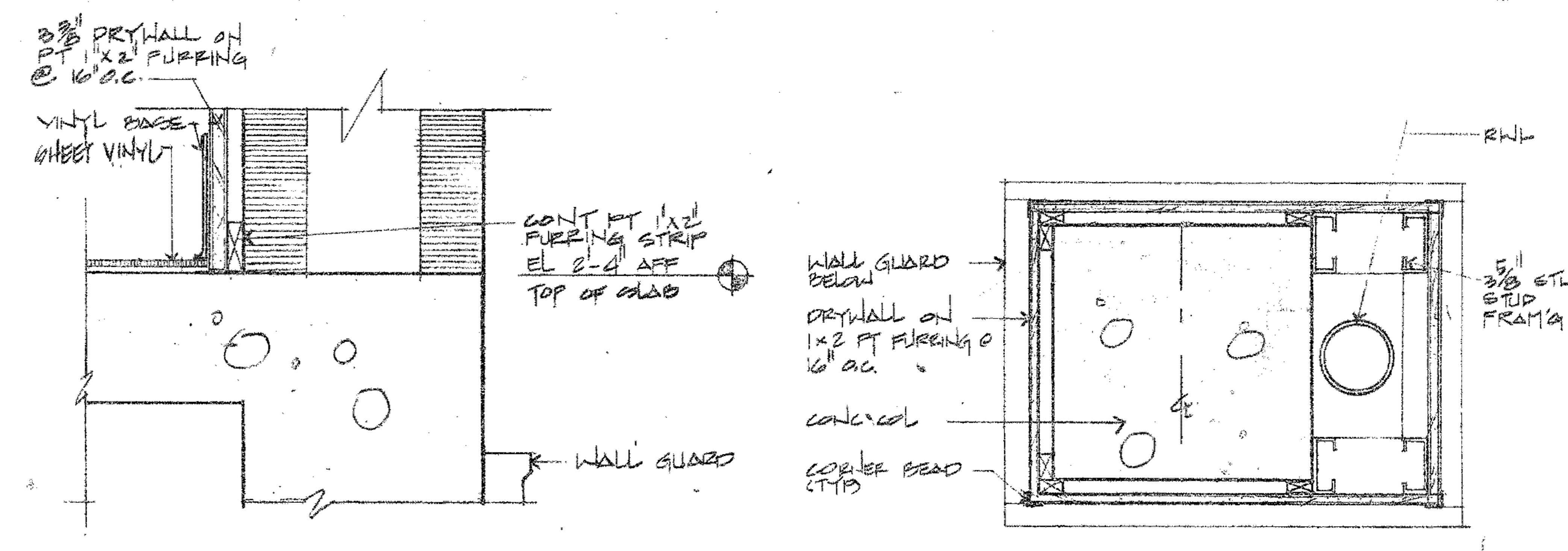
200-10

FINISH SCHEDULE

As-builts for Addendum #3

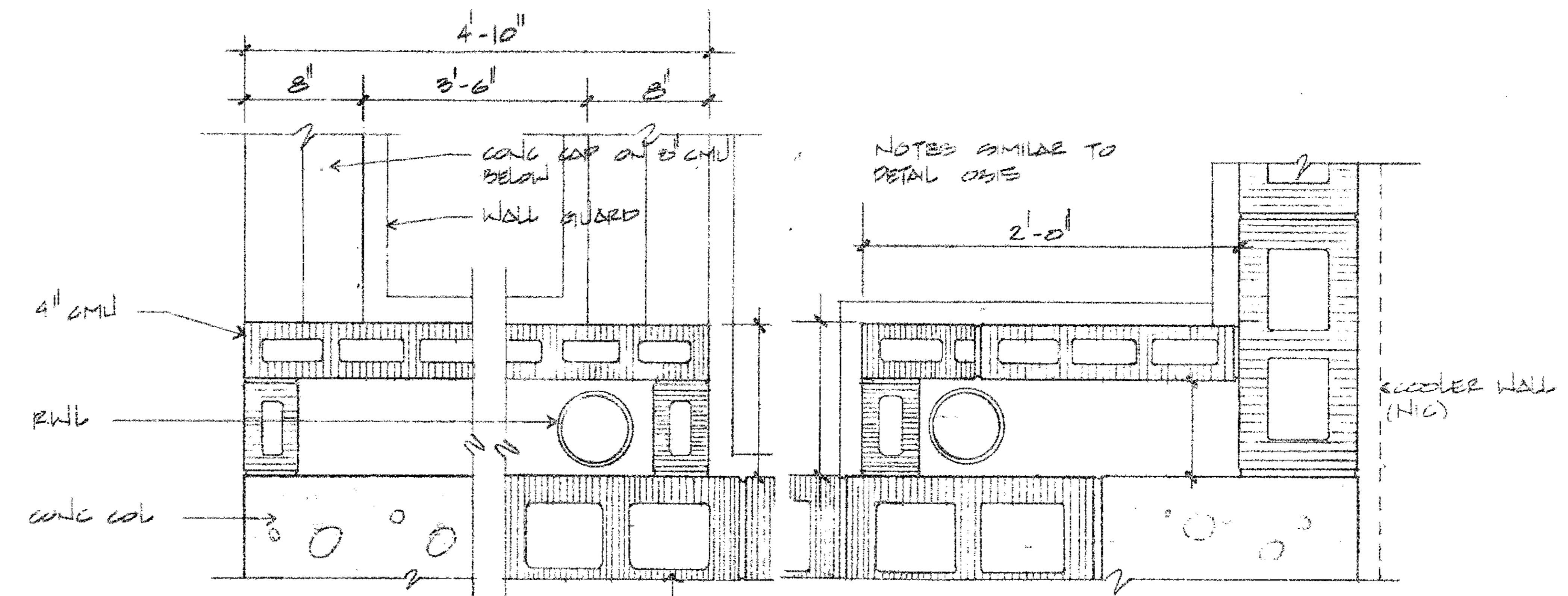
BLDG. FLOOR	SECTION NO.	SPACE NO.	LOCATION	FLOOR	BASE	WALLS	CEILING	CLG. HEIGHT	REMARKS														
										SPACE NAME	CARPET	SEALED CONCRETE	QUARRY TILE	BRICK PAVERS	SHEET VINYL	WOOD	CERAMIC TILE	QUARRY TILE	BRICK PAVER	VINYL	NONE	PAINTED DRYWALL	PAINTED CONC. BLK
GROUND FLOOR		101	CORRIDOR					8'-0"															
		102	CORRIDOR					8'-0"															
		103	PURCHASING					8'-0"															
		104	MANAGER					8'-0"															
		105	CONTROL					8'-0"															
		106	CLOSET					8'-0"															
		107	CLOSET					8'-0"															
		108	JANITOR					8'-0"															
		109	TRANSFORMER VAULT					8'-0"															
		110	ELECTRICAL ROOM					13'-0"															
		111	EMPLOYEE LOUNGE					8'-0"															
		112	WOMEN VESTIBULE					8'-0"															
		113	MEN VESTIBULE					8'-0"															
		114	WOMEN BATH					8'-6"															
		115	MEN BATH					8'-6"															
		116	WOMEN LOCKERS					9'-0"															
		117	MEN LOCKERS					9'-0"															
		118	DAY DRY STORAGE 1					10'-0"	EAST WALL COOLER WALL														
		119	DAY REFRIGERATOR 2						COOLER BY D.H.I.														
		120	DAY FREEZER						COOLER BY D.H.I.														
		121	BAKERY					9'-6"															
		122	HOT FOOD					9'-6"															
		123	COLD FOOD					9'-6"															
		124	DAY DRY STORAGE 2					10'-0"	EAST WALL COOLER WALL														
		125	DAY REFRIGERATOR 3						COOLER BY D.H.I.														
		126	DAY REFRIGERATOR 4						COOLER BY D.H.I.														
		127	DAY DRY STORAGE 3					10'-0"	WEST WALL COOLER WALL														
		128	SUPER OFFICE					9'-0"															
		129	CLEANING					11'-0"															
		130	PASSAGE					10'-4"															
		131	LIQUOR STORAGE					12'-0"															
		132	REF. SHIPPING						COOLER BY D.H.I.														
		133	SHIP/RECEIV. OFFICE					9'-0"															
		134	ORDER MAKE-UP					11'-6"															
		135	REF. PRODUCE						COOLER BY D.H.I.														
		136	FINISHED PRODUCT						COOLER BY D.H.I.														
		137	DAY REFRIGERATOR 1						COOLER BY D.H.I.														
		138	REF. SLICING						COOLER BY D.H.I.														
		139	REF. STORAGE						COOLER BY D.H.I.														
		140	REF. VESTIBULE						COOLER BY D.H.I.														
		141	ICE CREAM FREEZER						COOLER BY D.H.I.														
		142	FREEZER						COOLER BY D.H.I.														
		143	REF. BEER STORAGE						COOLER BY D.H.I.														
		144	RECEIVING DOCK					16'-0"															
		145	DRY STORAGE					22'-0"															
		147	MECHANICAL ROOM					10'-8"															
		148	RETURNS DOCK					17'-6"															
		149	MAINTENANCE RM					9'-0"															
		150	COMPACTOR BIN					13'-8"															

SHADE PORTIONS INDICATE AREAS TO RECEIVE FINISH
 FINISH ALL AREAS
 COMBINATION OF FINISHES REFER TO PLANS & ELEVATIONS FOR PROPER LOCATIONS
 OFFICE AREAS
 KITCHEN AREAS
 RECEIVING AREAS
 REMARKS



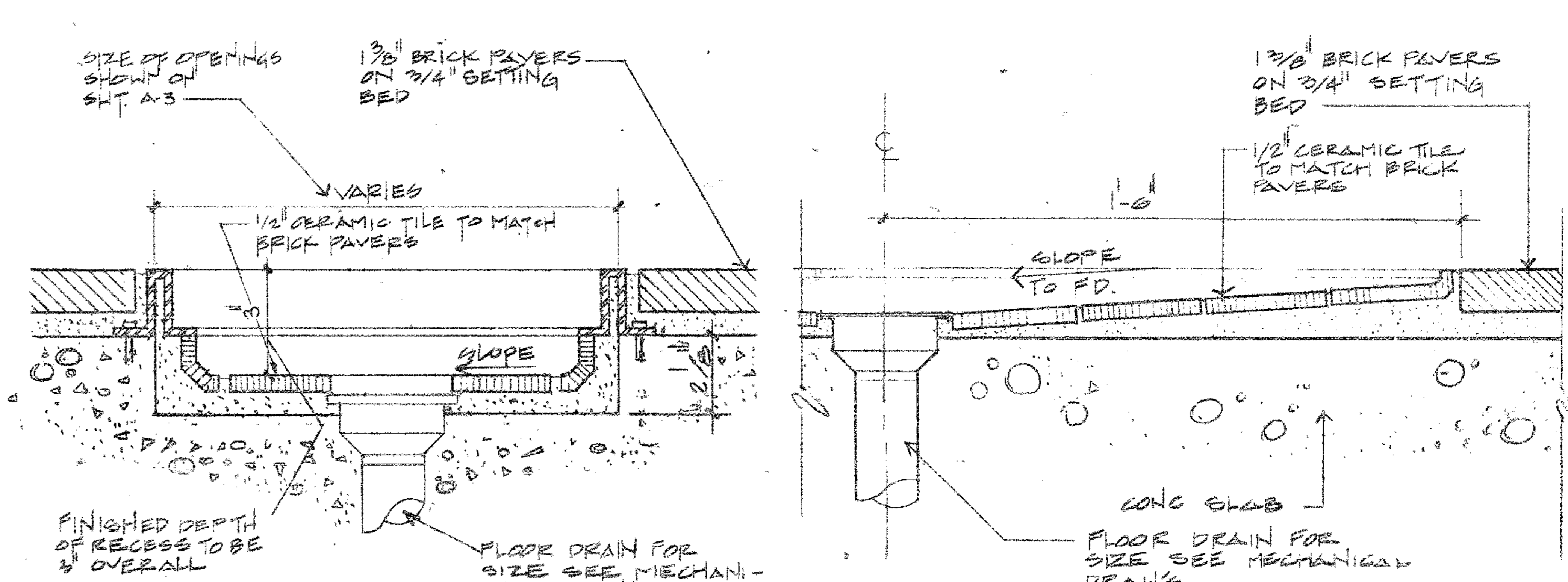
DETAIL SCALE 3"=1'-0" O15 06

DETAIL SCALE 1 1/2"=1'-0" O215 03



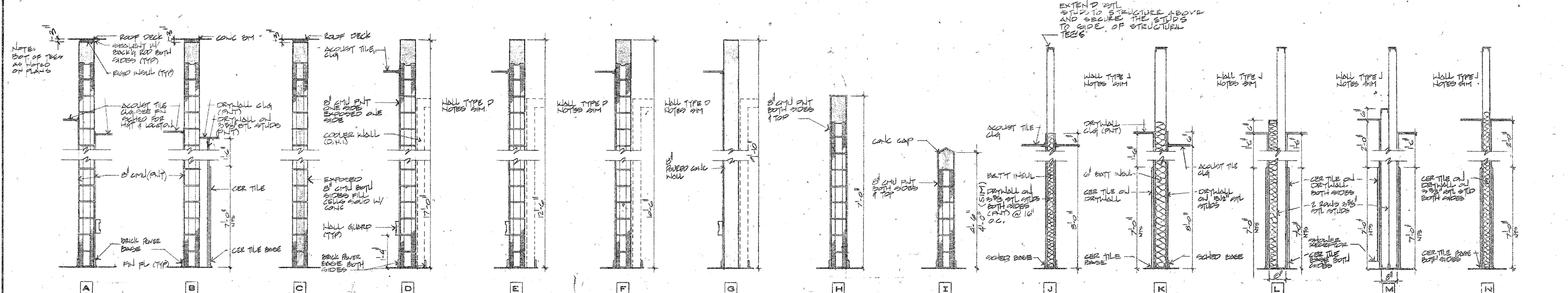
DETAIL SCALE 1 1/2"=1'-0" O315 03

DETAIL SCALE 1 1/2"=1'-0" O415 03



DETAIL SCALE 3"=1'-0" O515 03

DETAIL SCALE 3"=1'-0" O615 12



INTERIOR WALL TYPES SCALE 1/2"=1'-0"

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CLIENT APPRO.	DATE	DESIGNATED	DATE	APPROVED	DATE	ISSUED	DATE

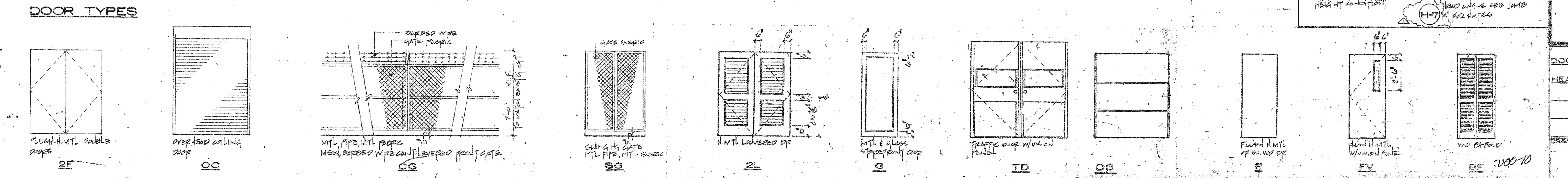
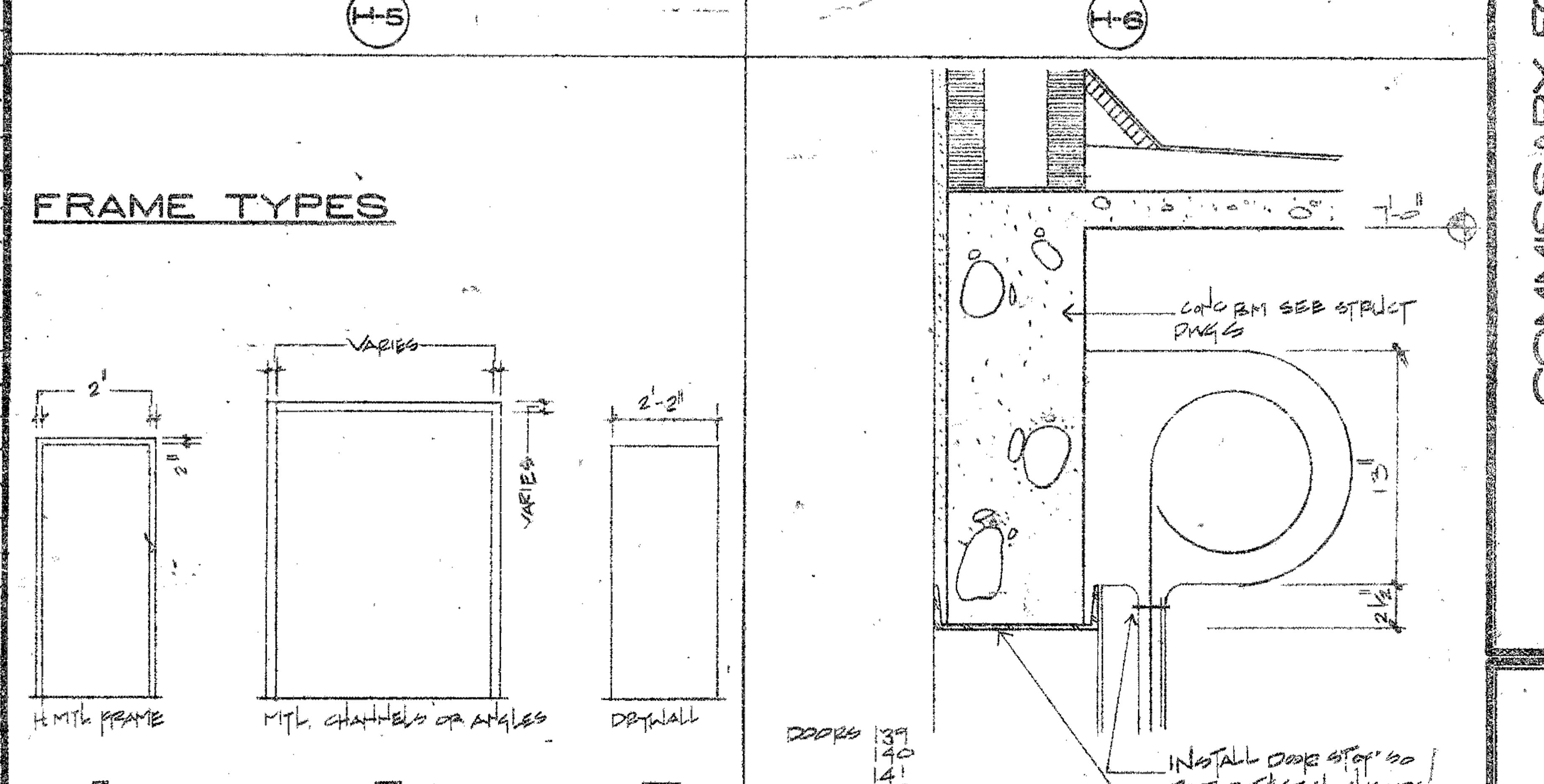
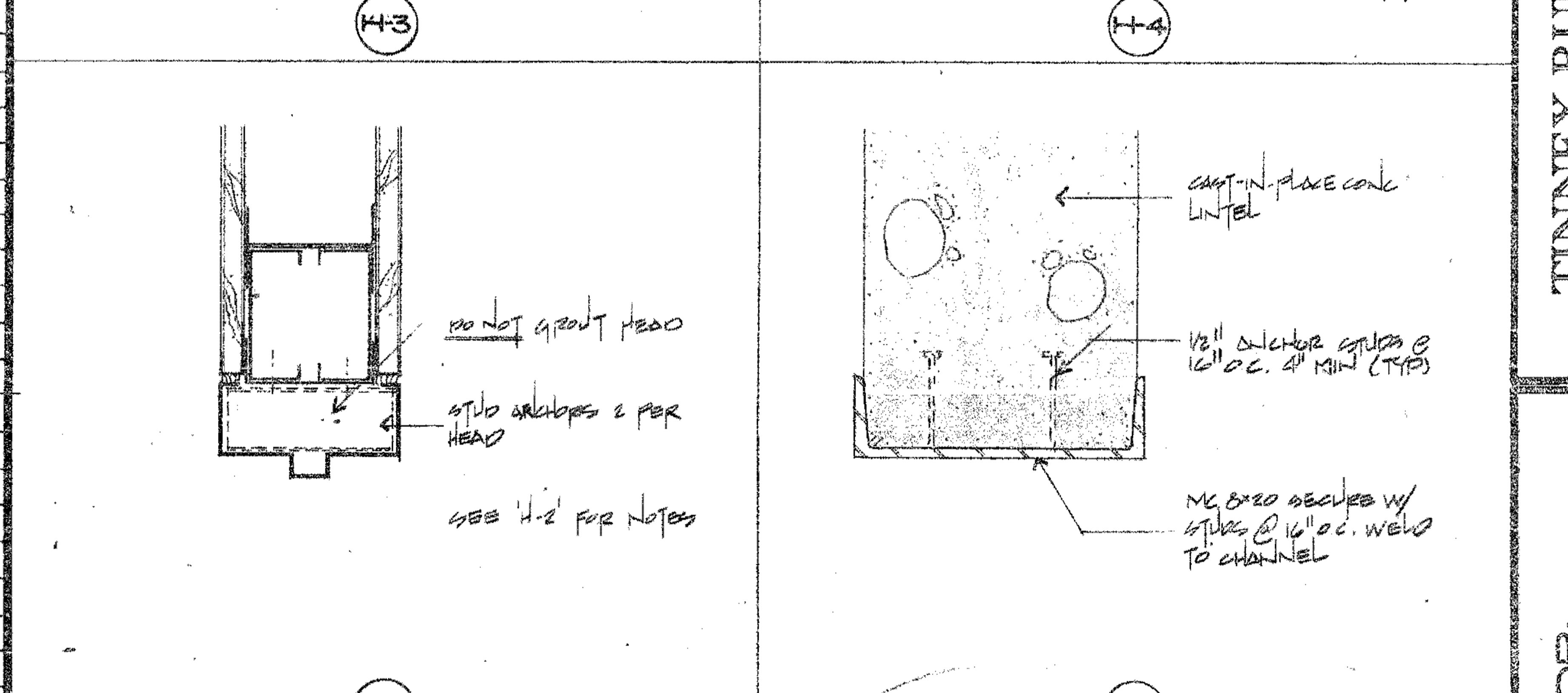
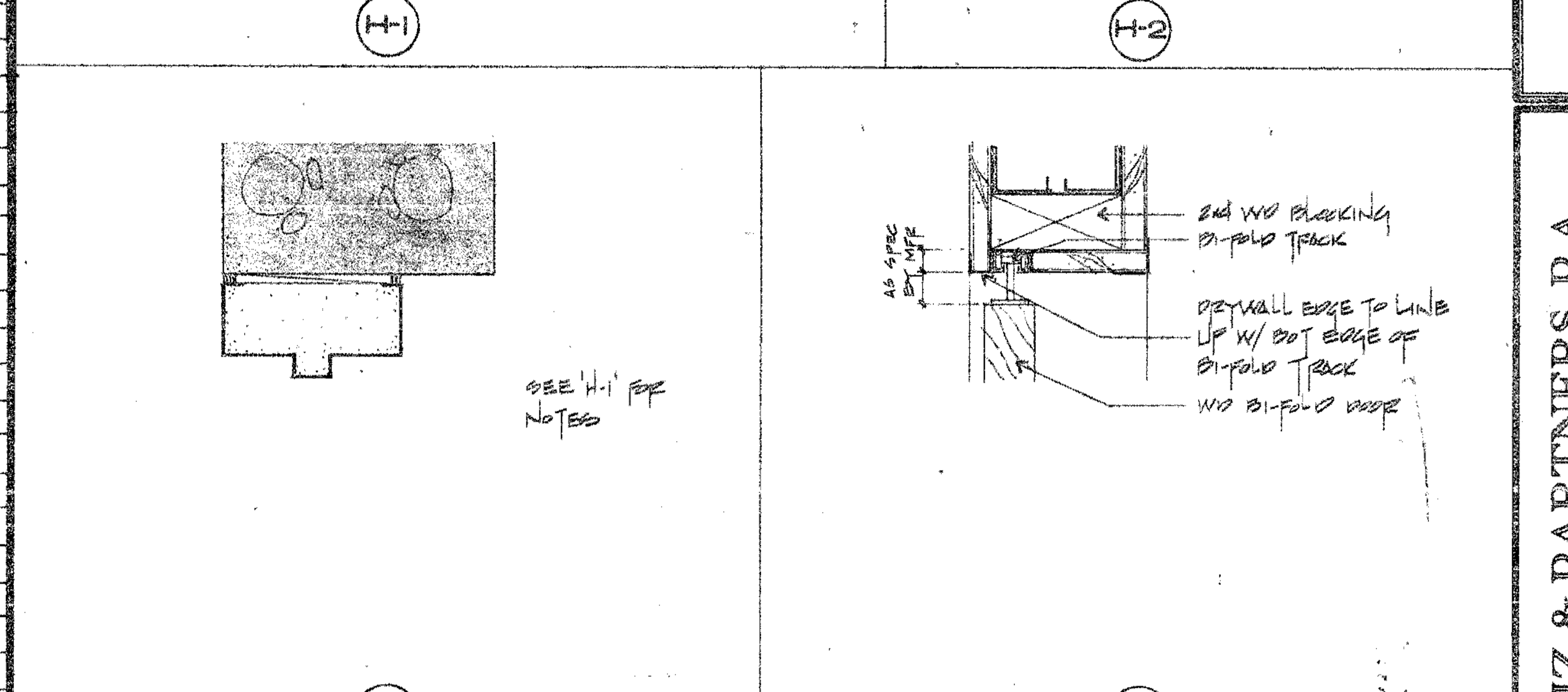
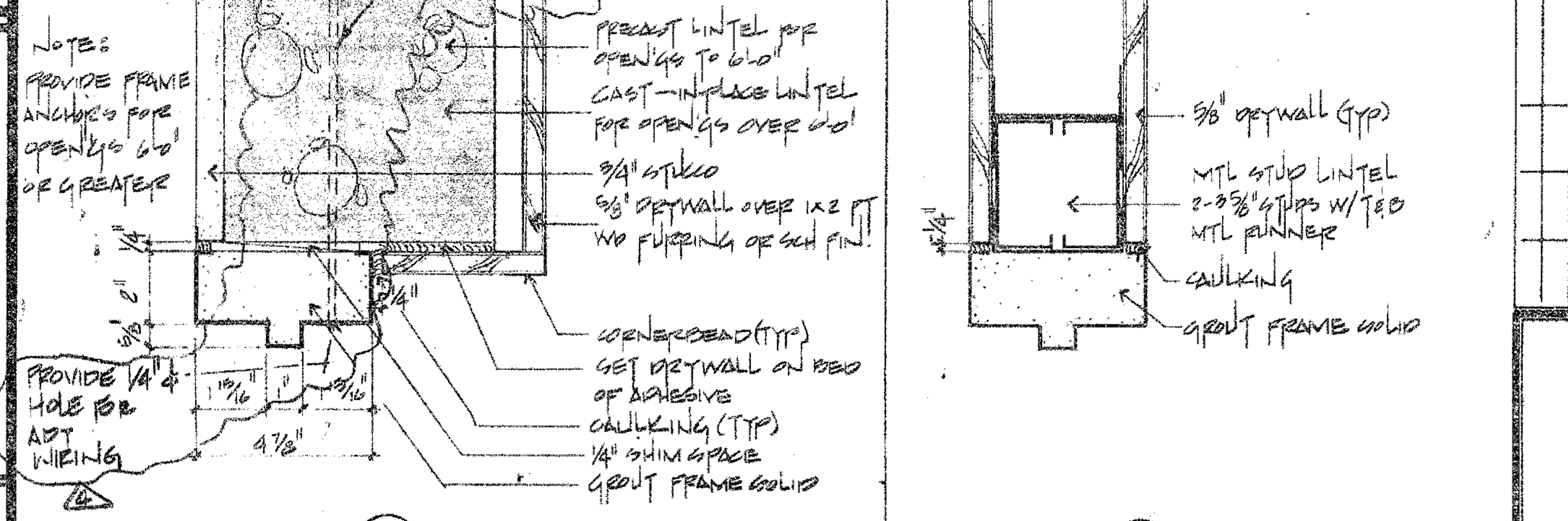
FINISH SCHEDULE
 INTERIOR WALL
 TYPE 3
 DETAILS
 DRAWING NO. A15 OF 24

DOOR AND FRAME SCHEDULE

HEAD TYPES

As-builts for Addendum #3

Main table with columns: LOCATION (BUILDING FLOOR, SECTION NO., SPACE NO., NAME), DOORS (SIZE, ELEVATION TYPE, COMPOSITION, FINISH, U.L. RATING), FRAMES (TYPE, COMP'S'TN, FINISH), and REMARKS.

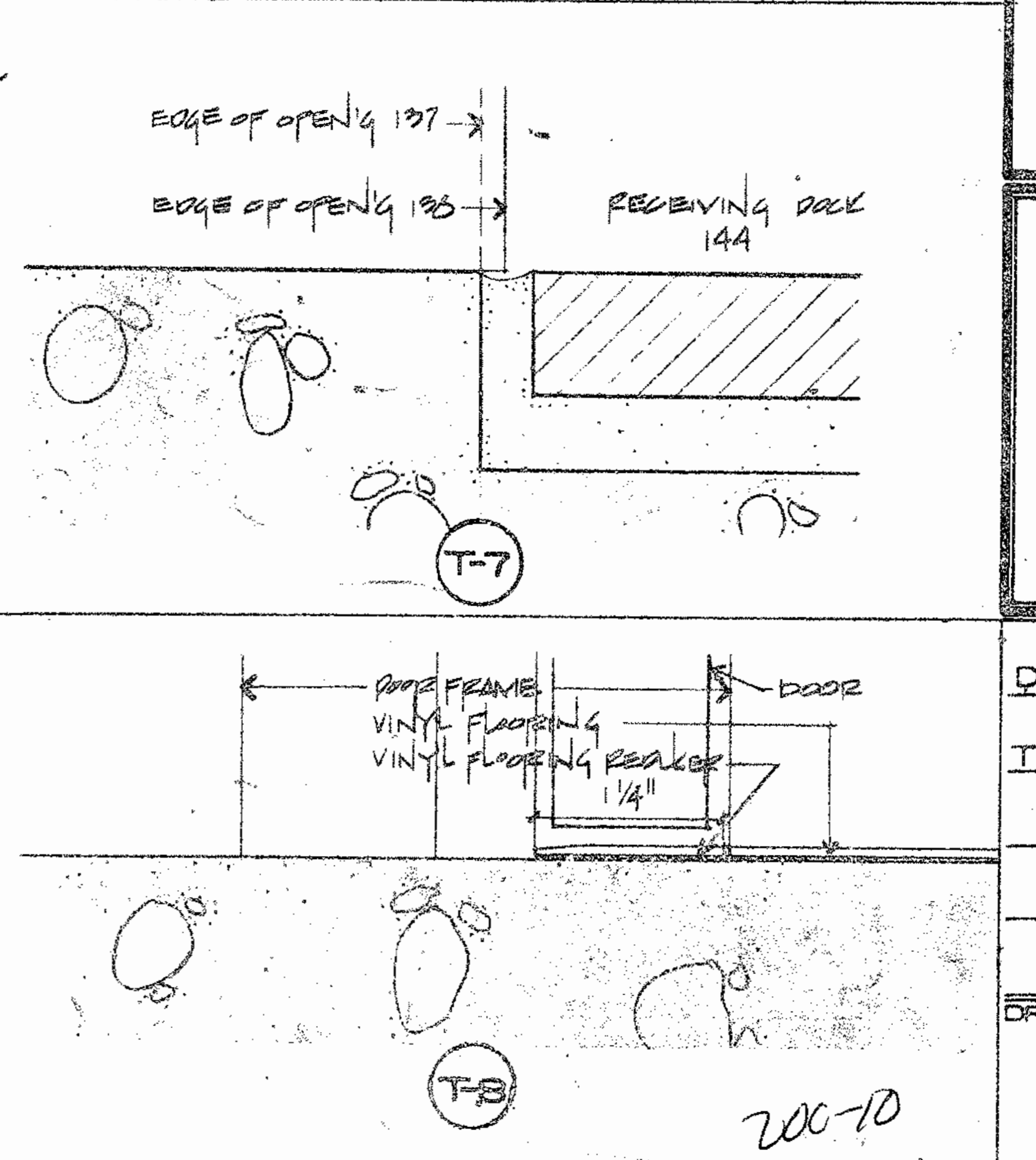
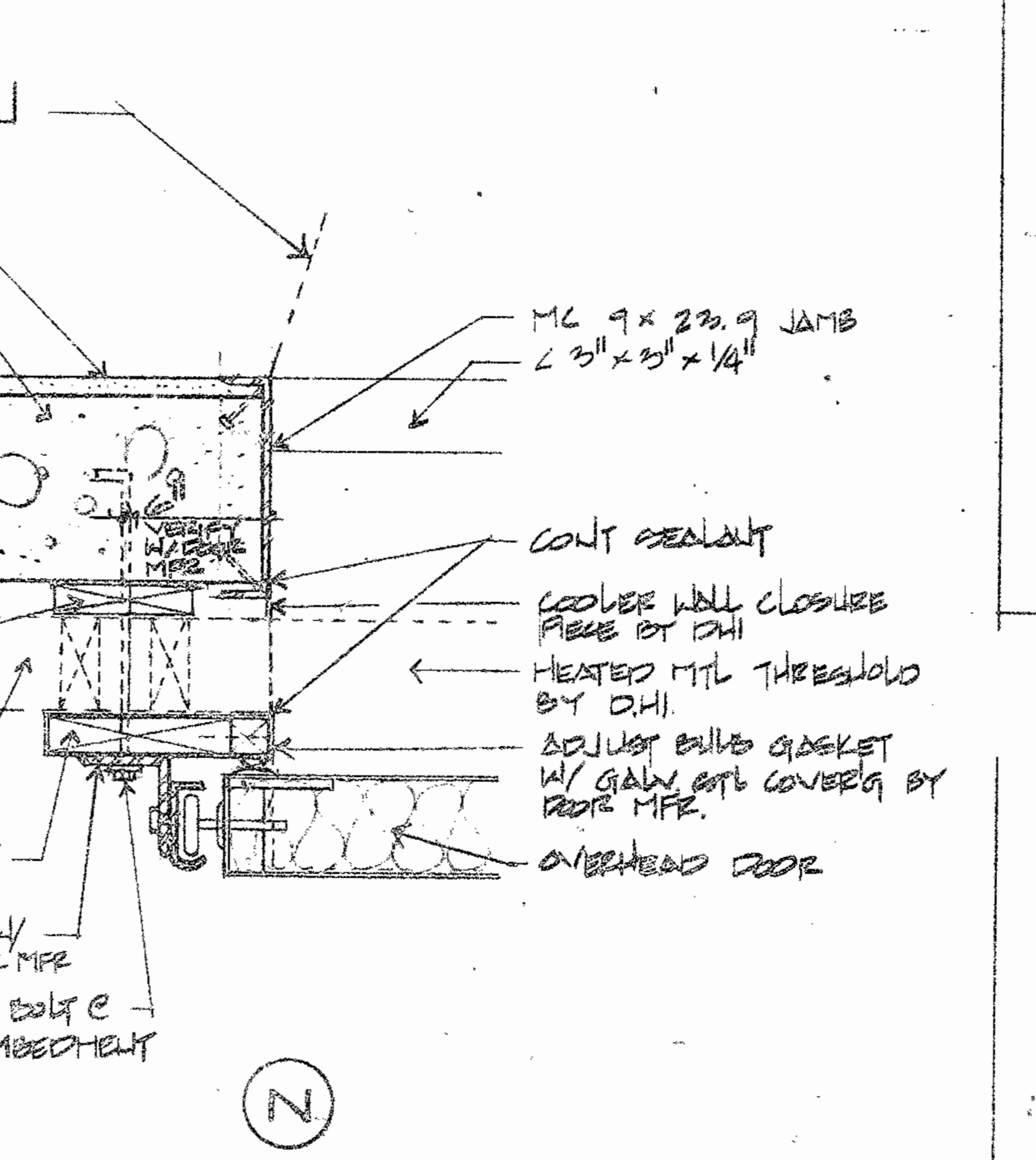
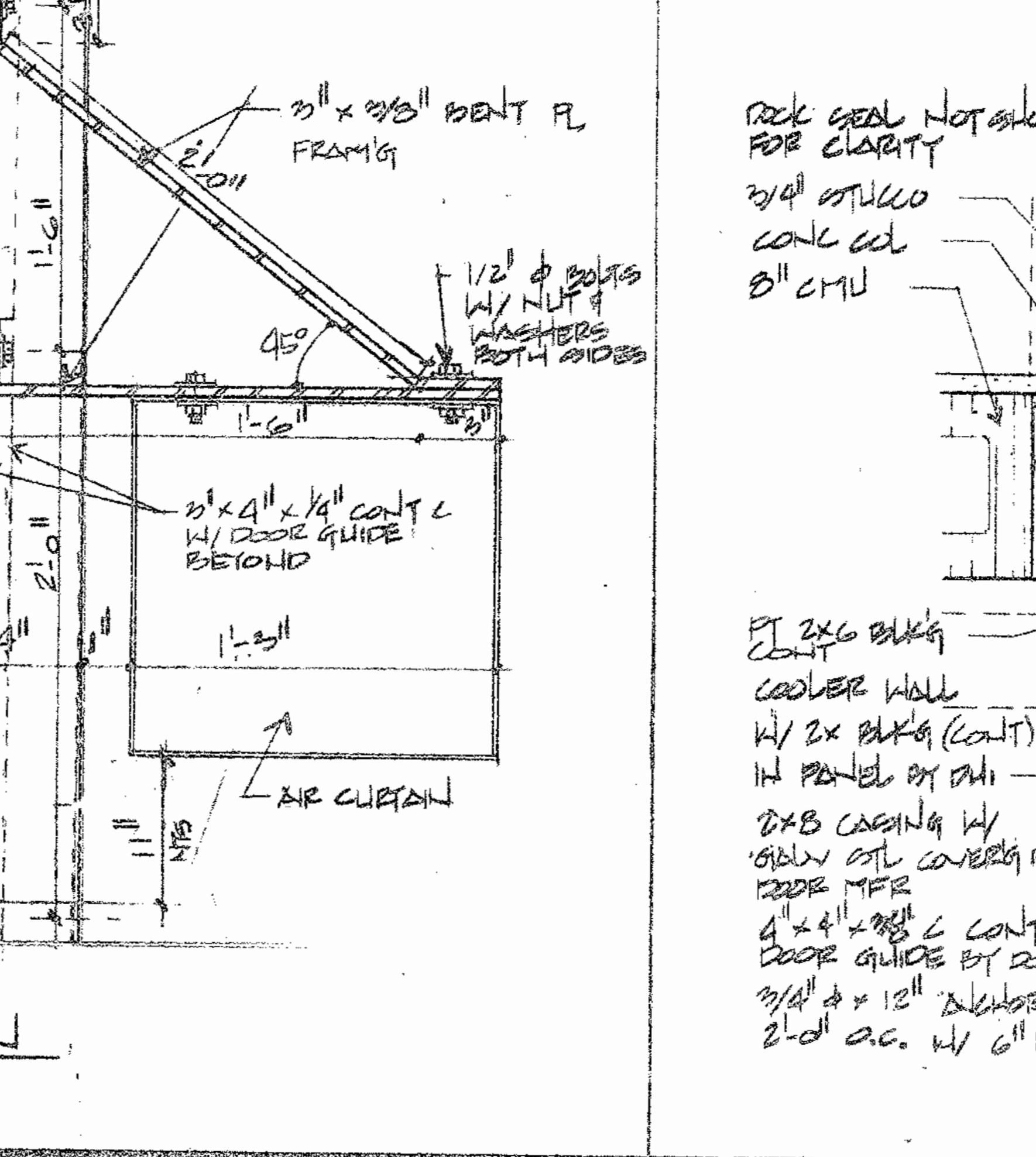
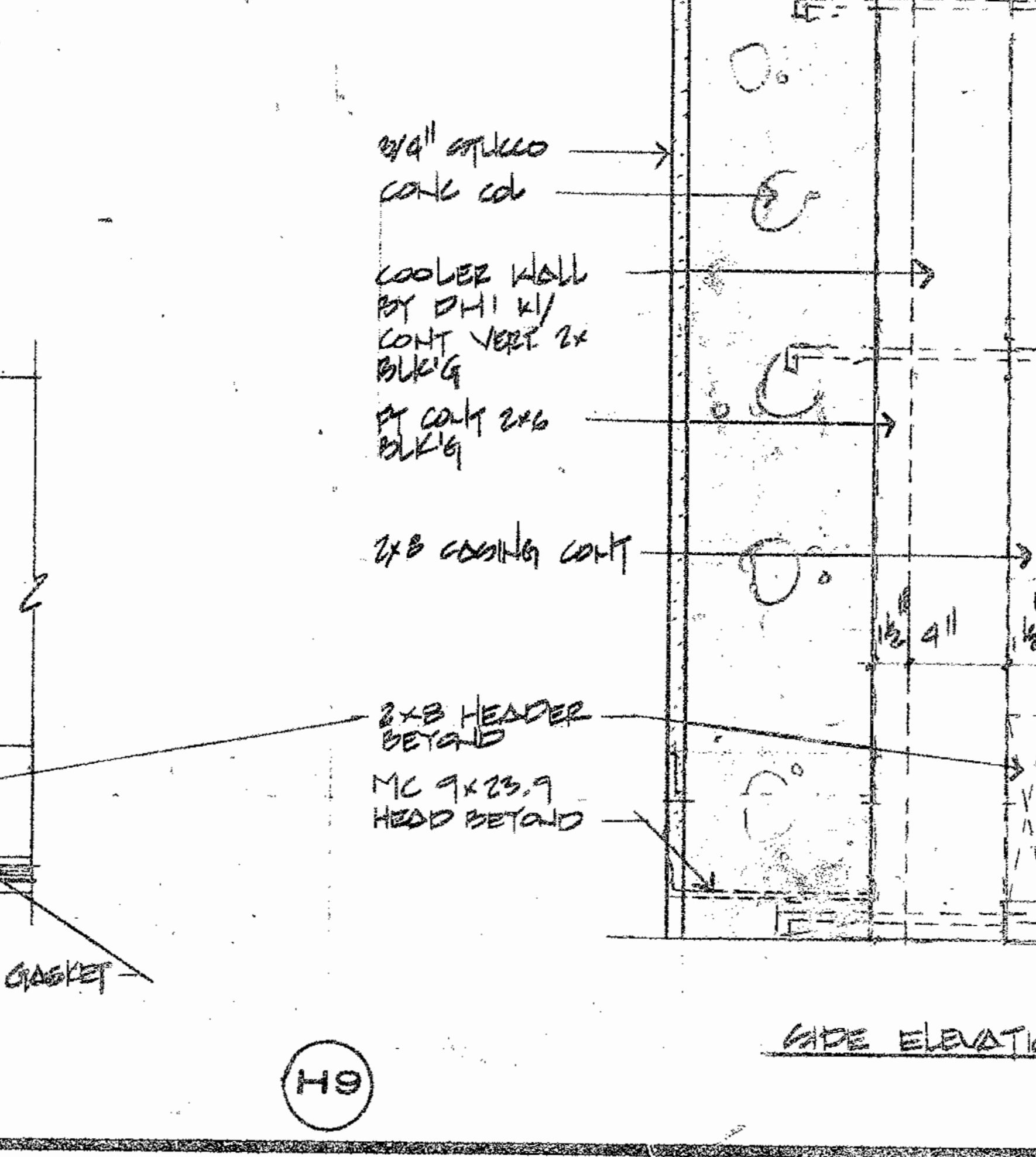
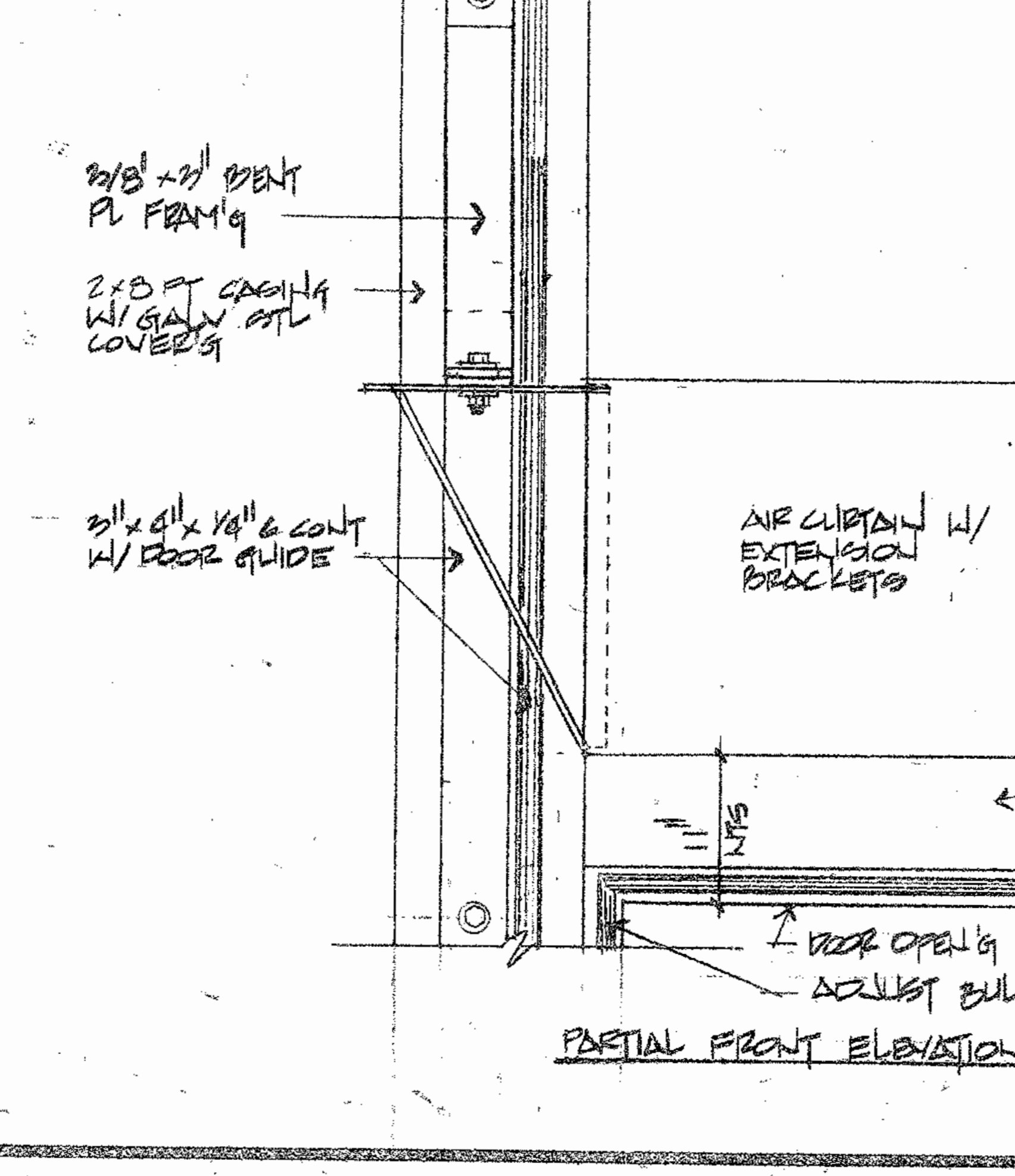
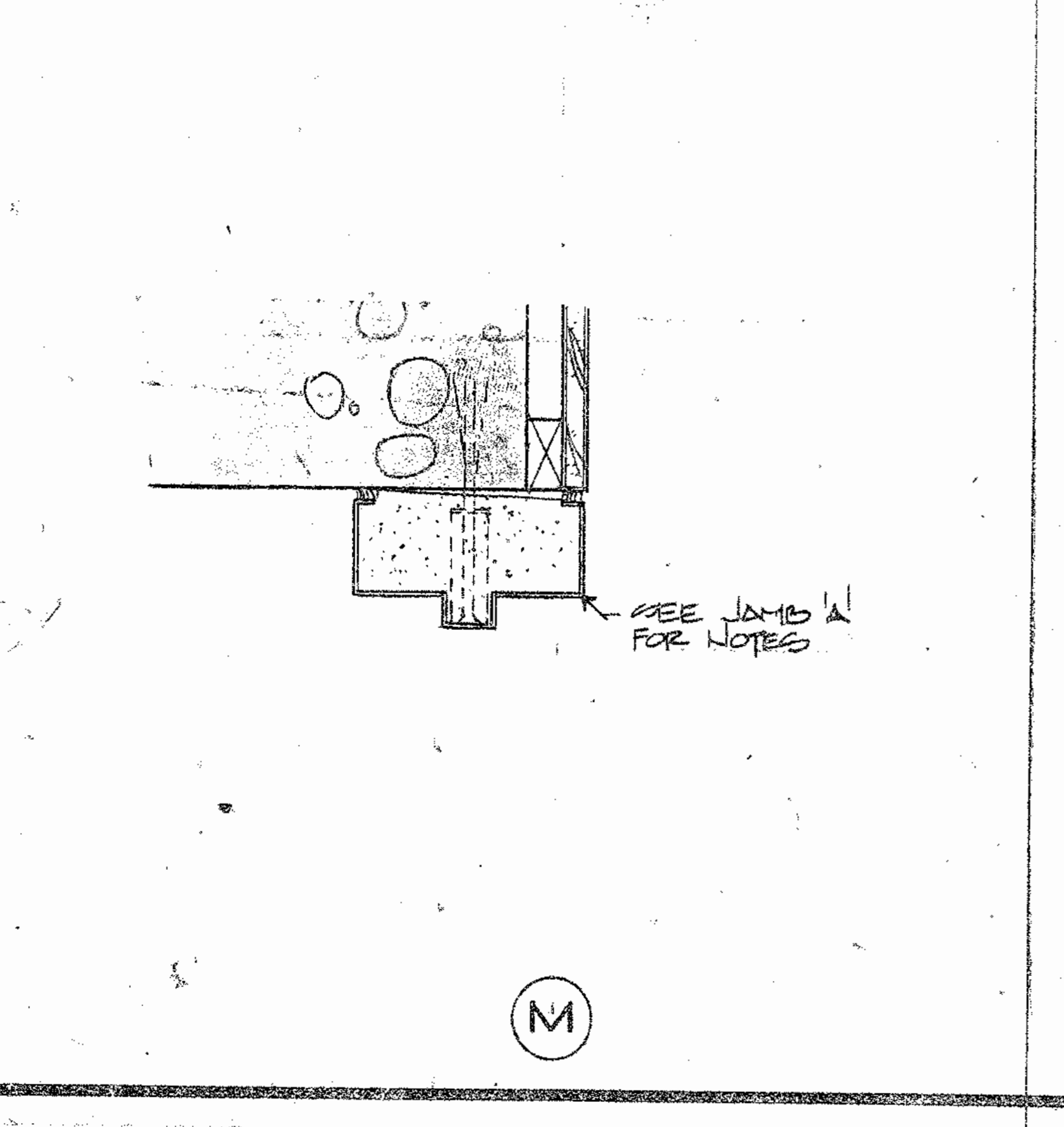
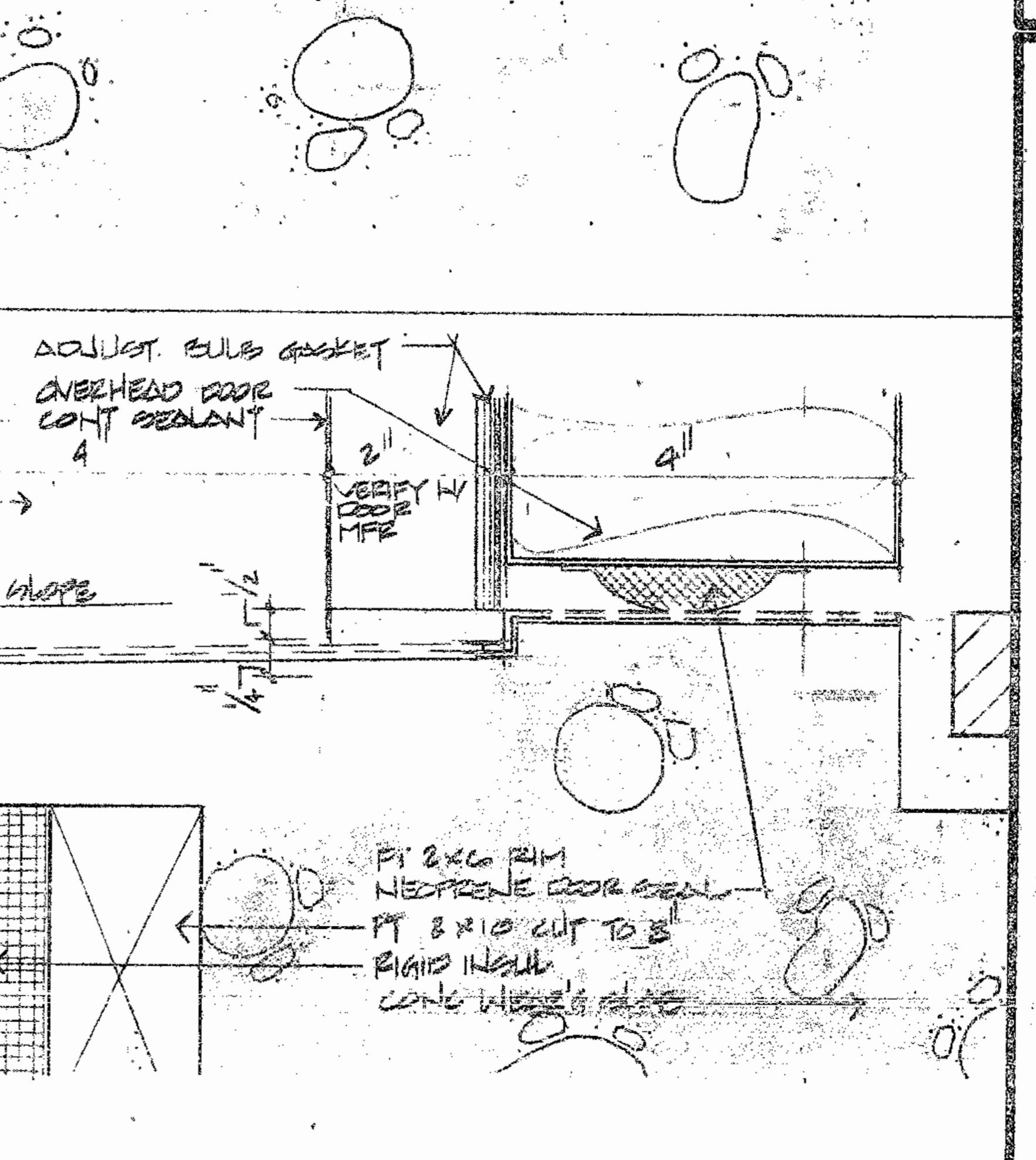
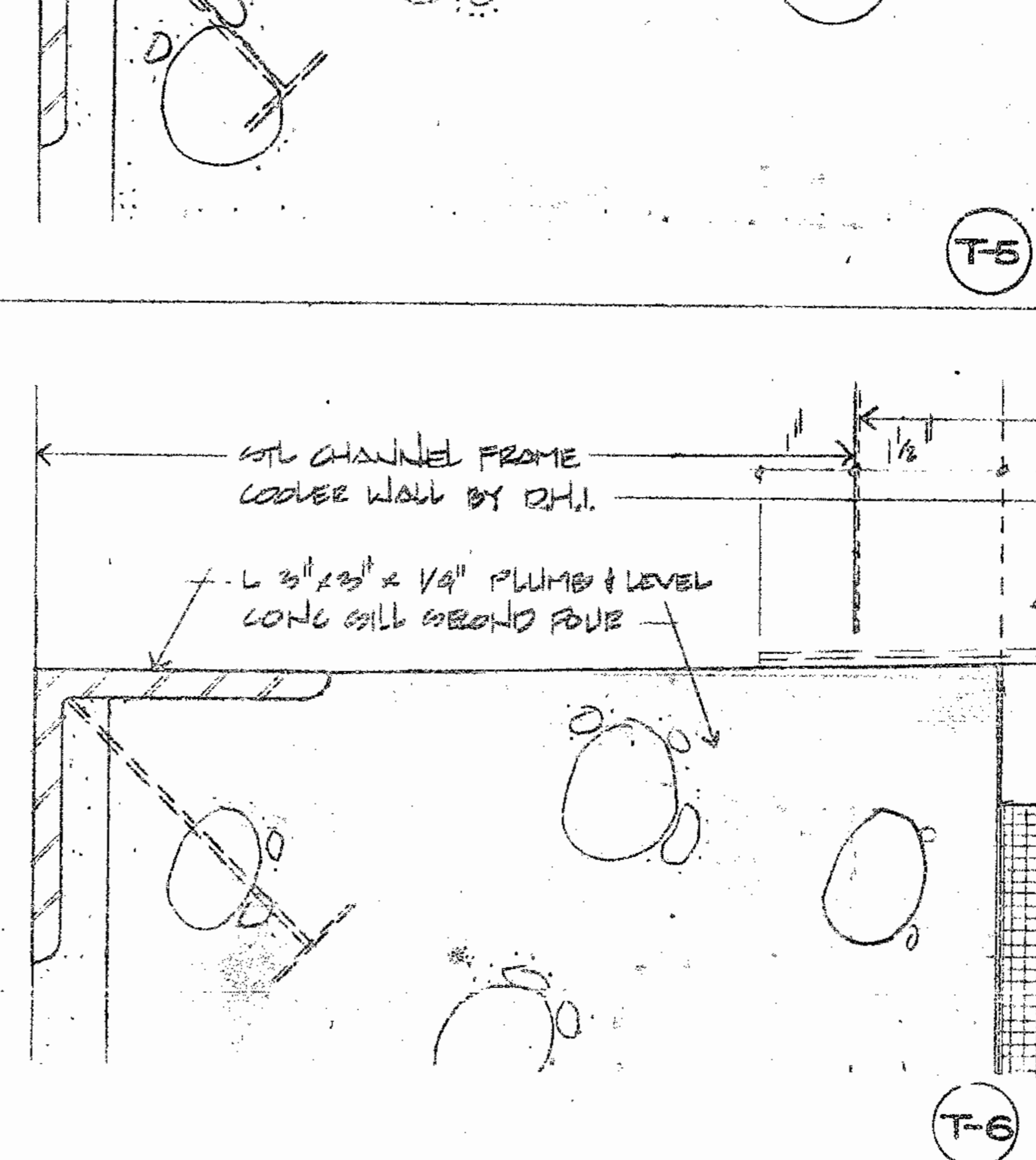
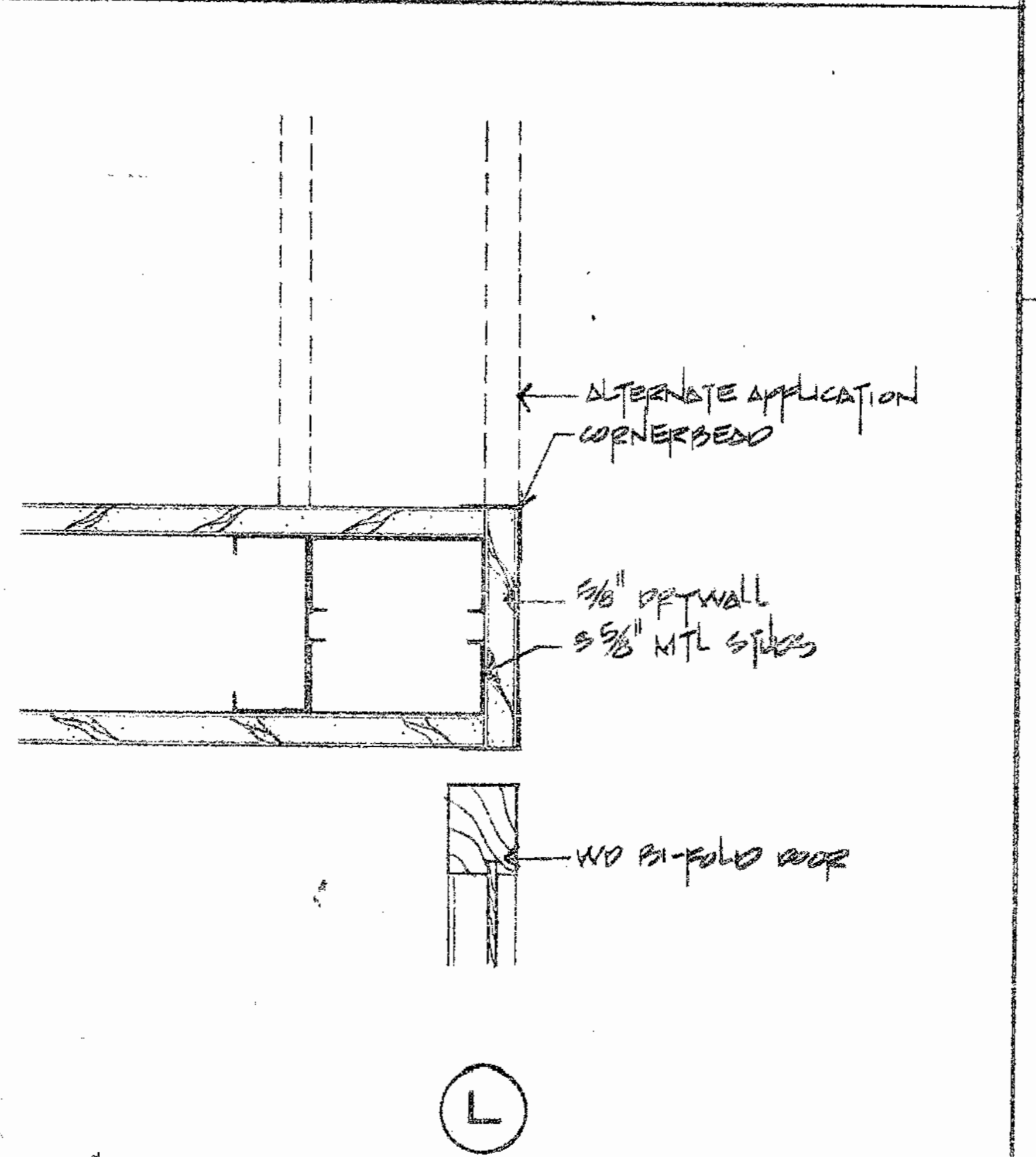
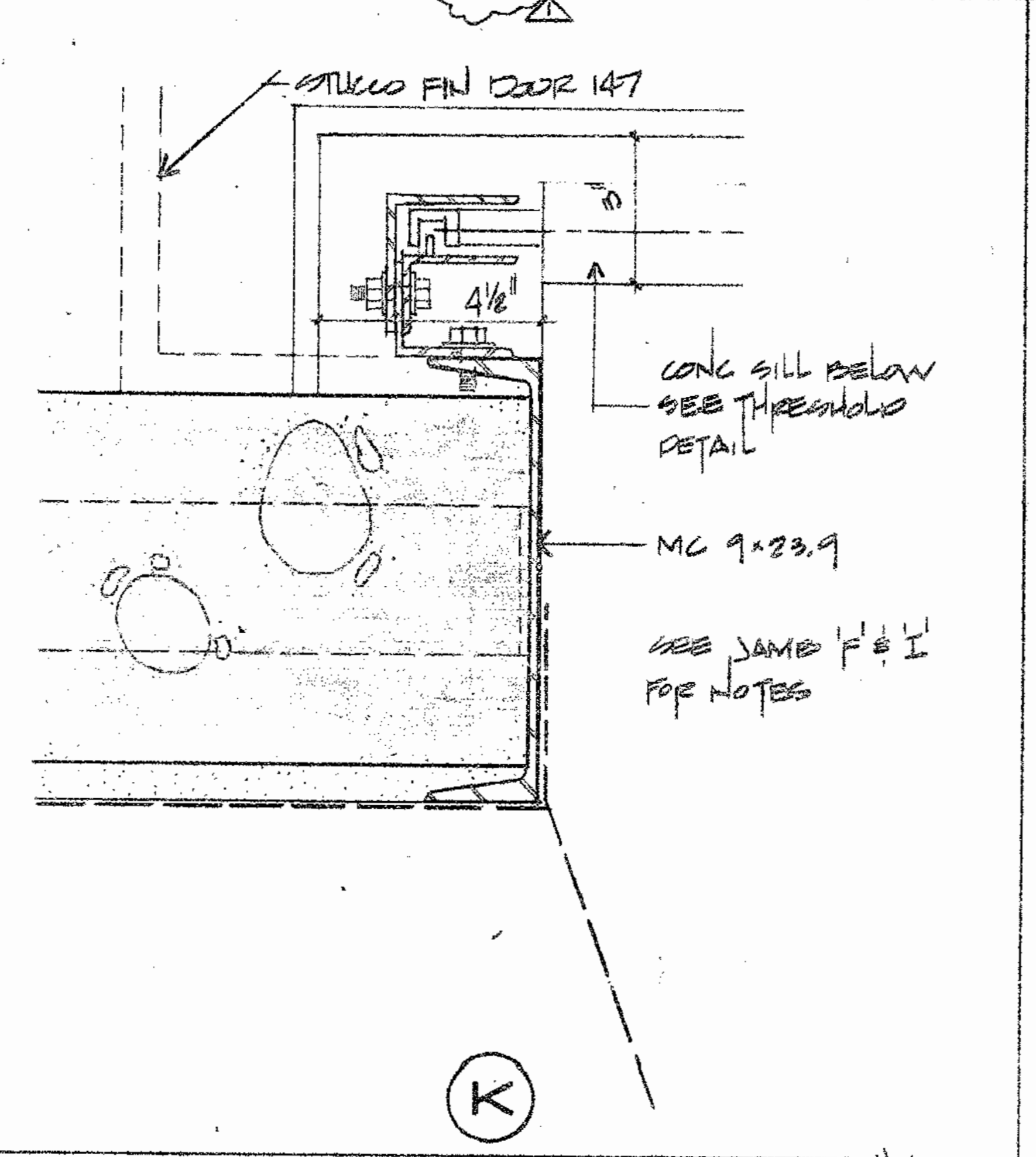
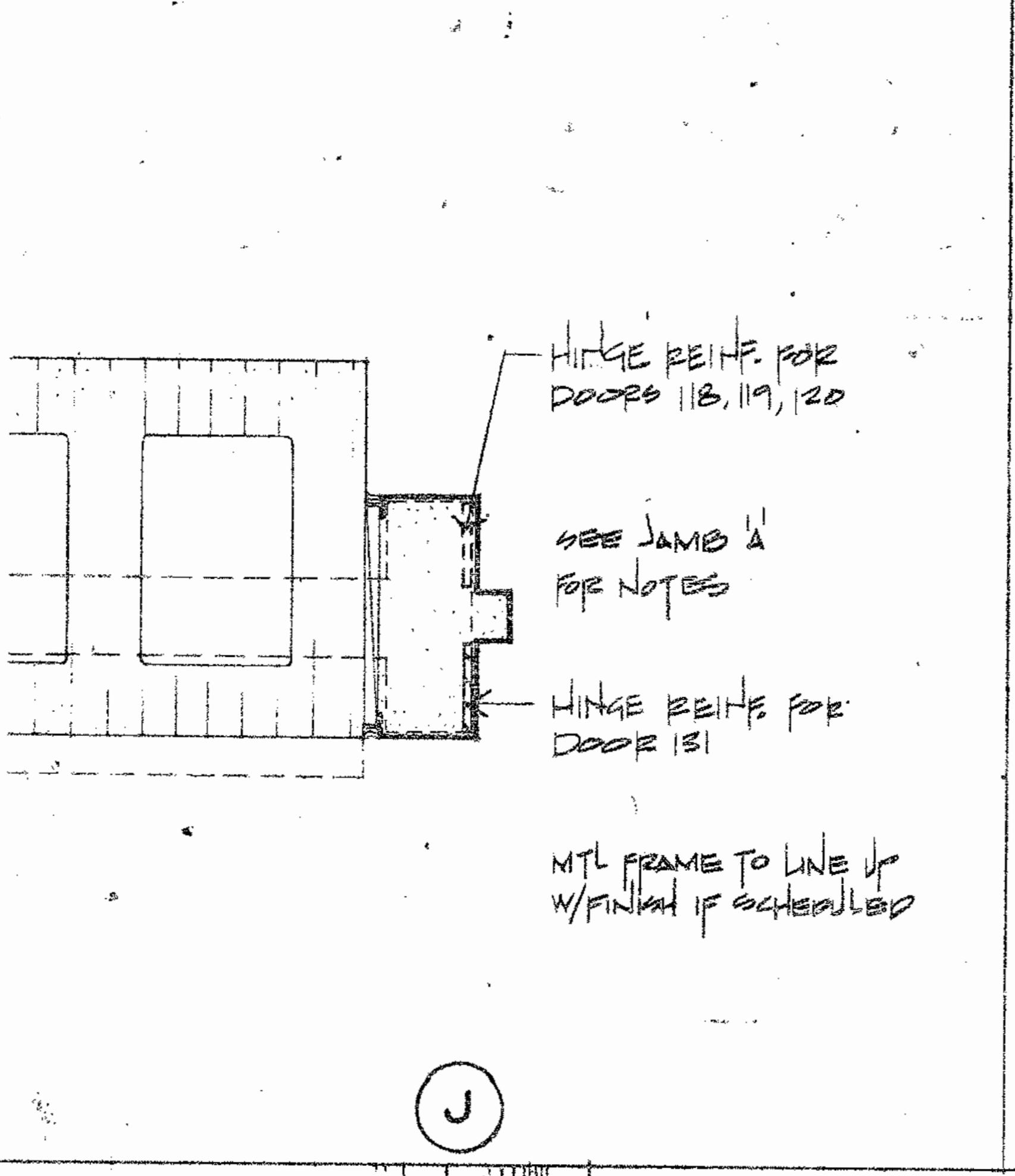
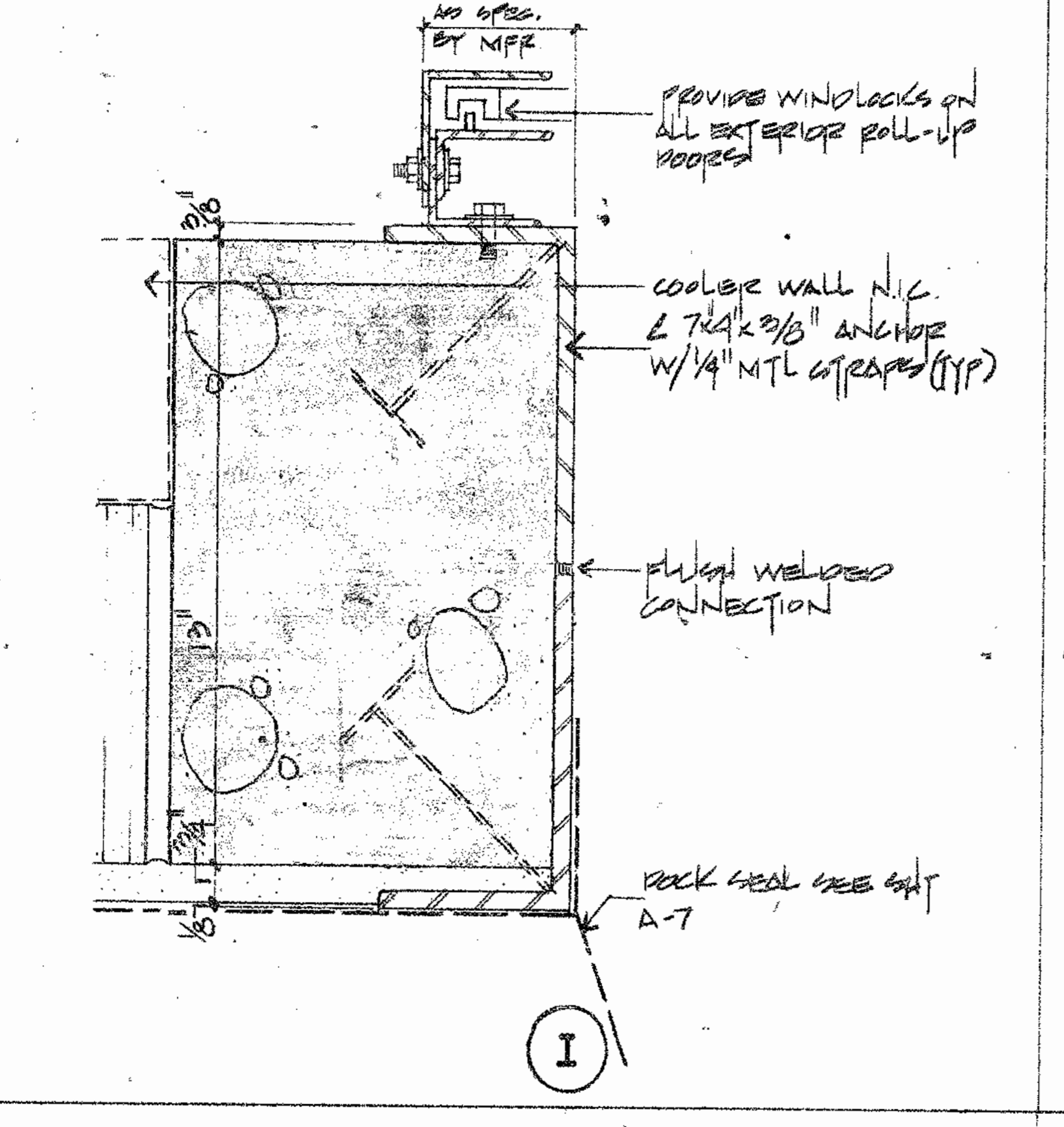
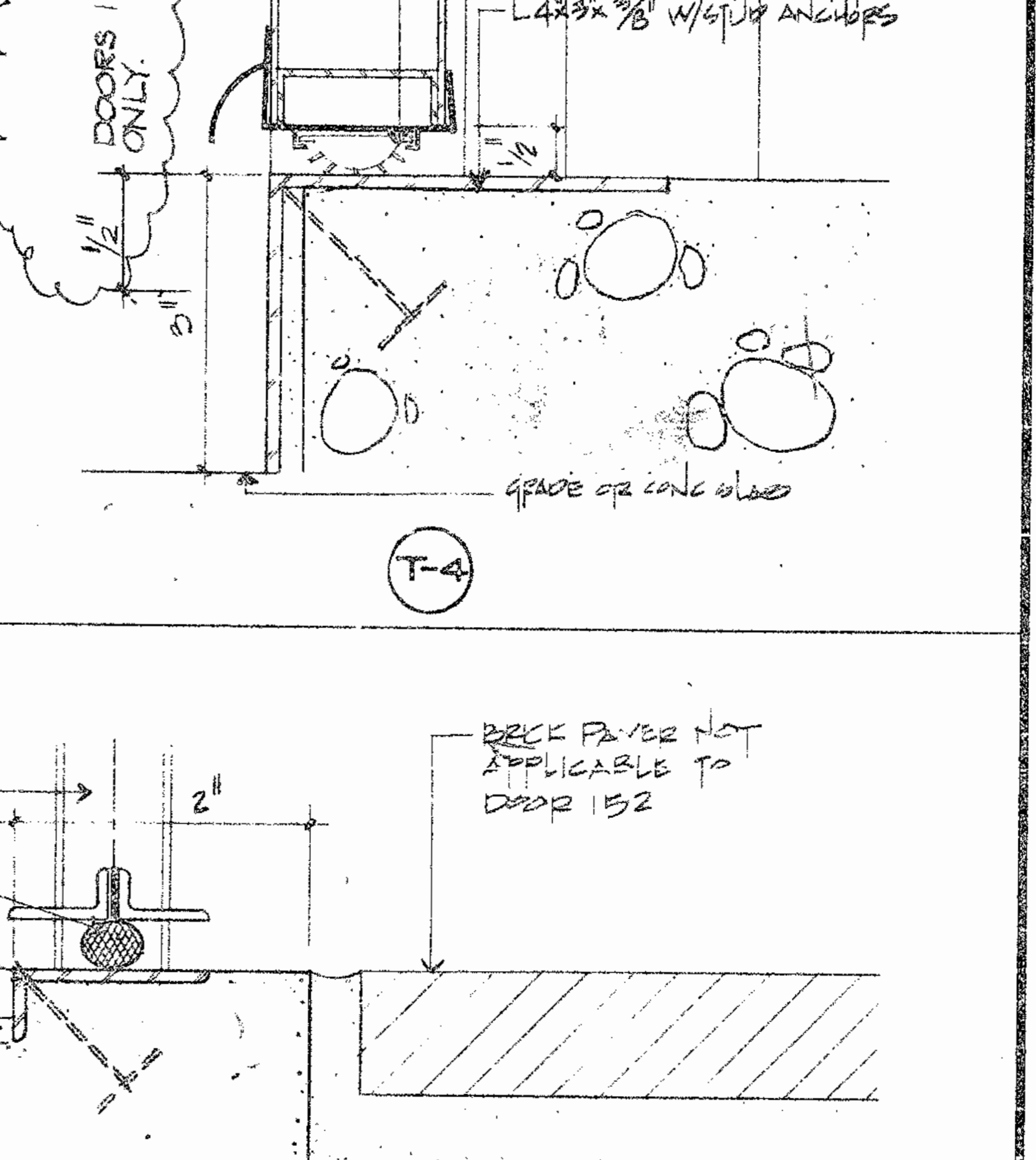
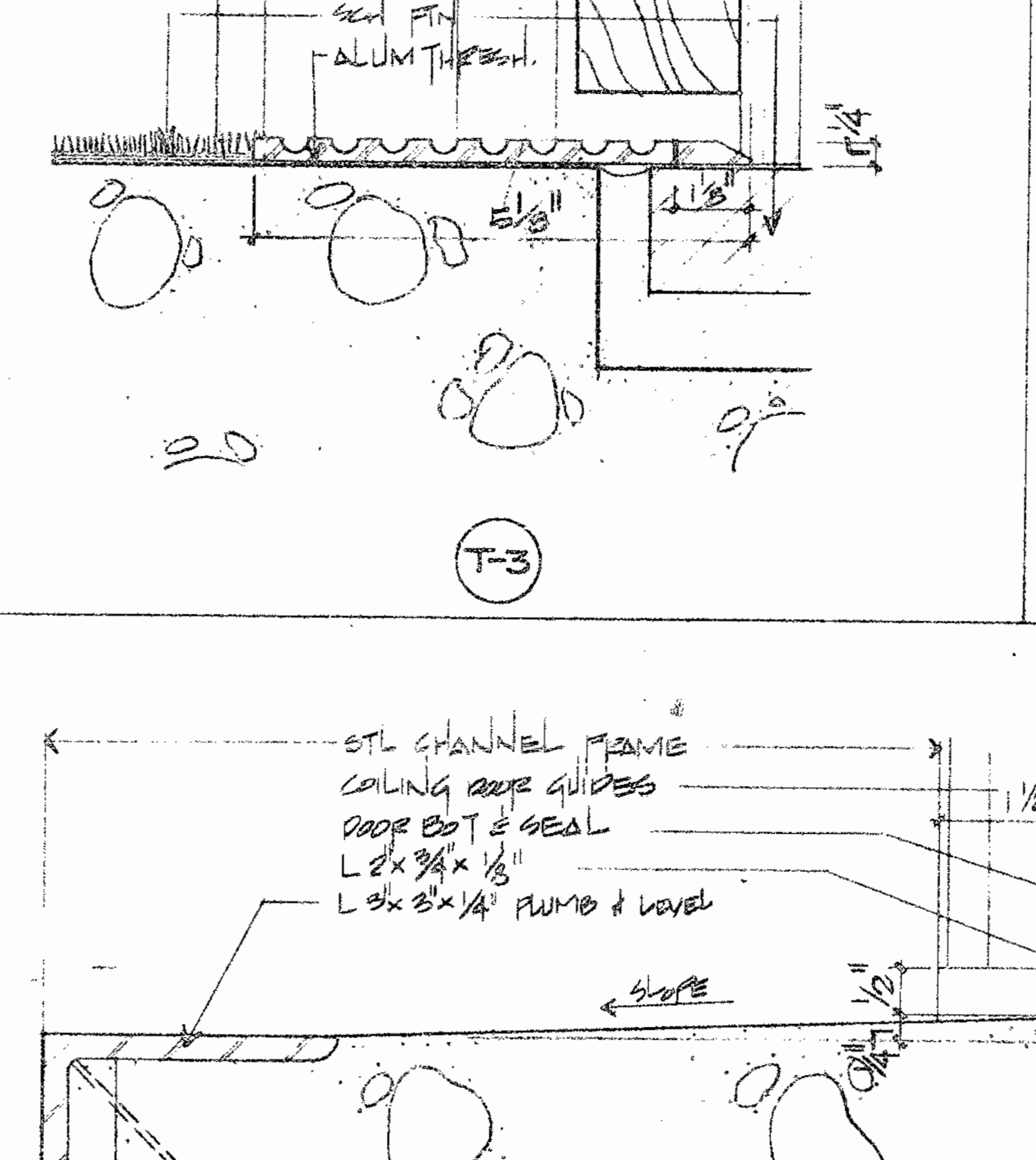
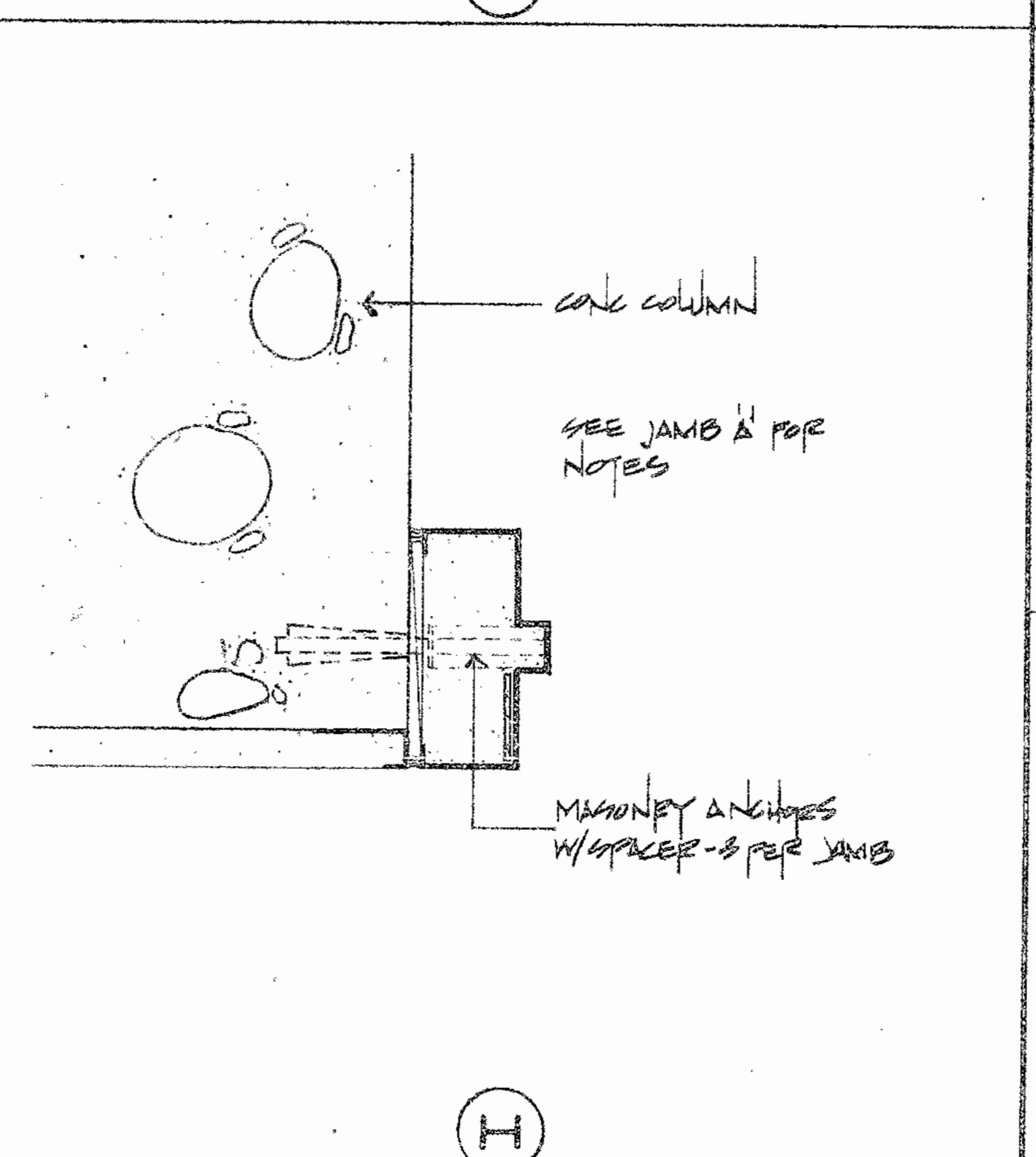
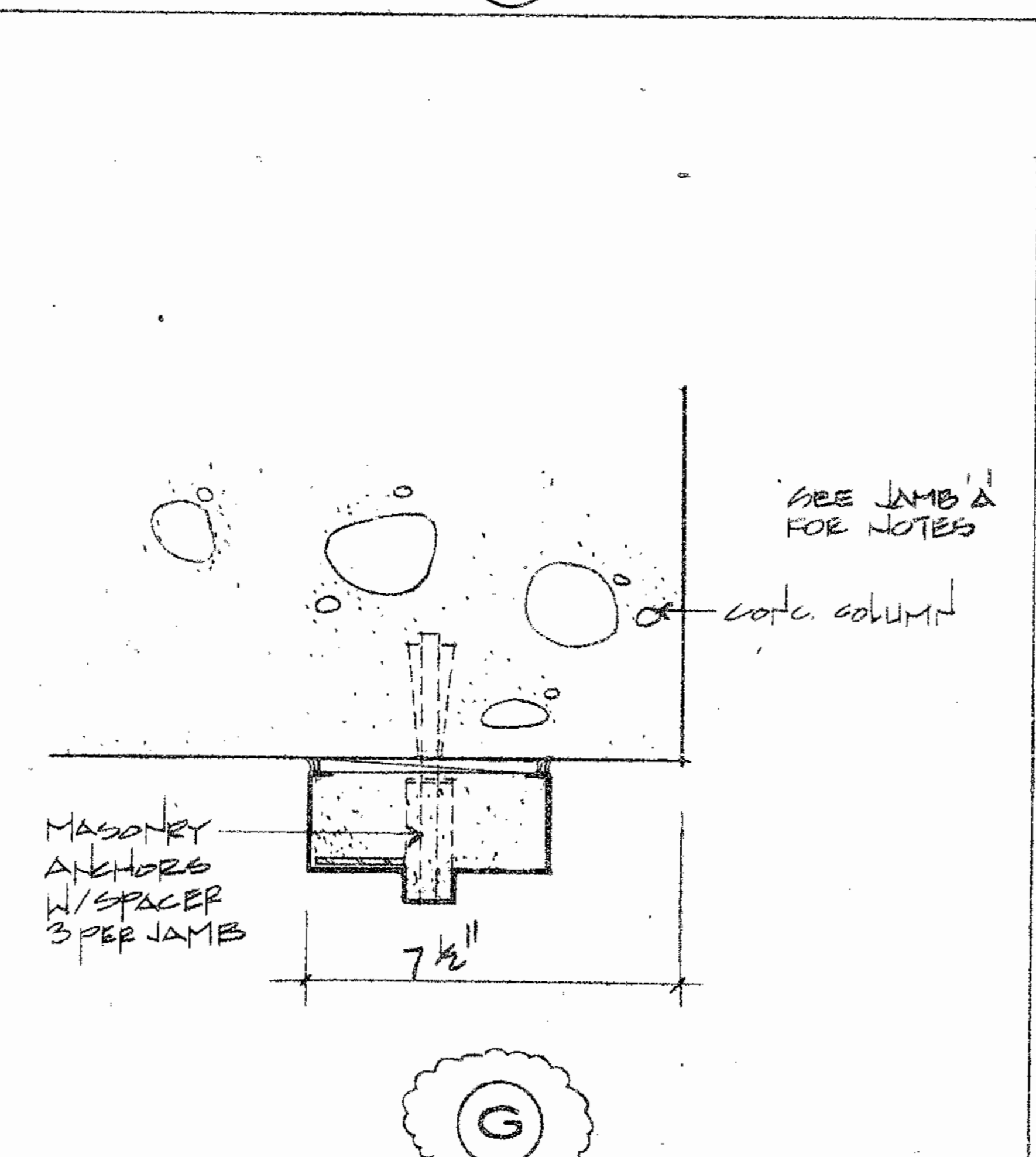
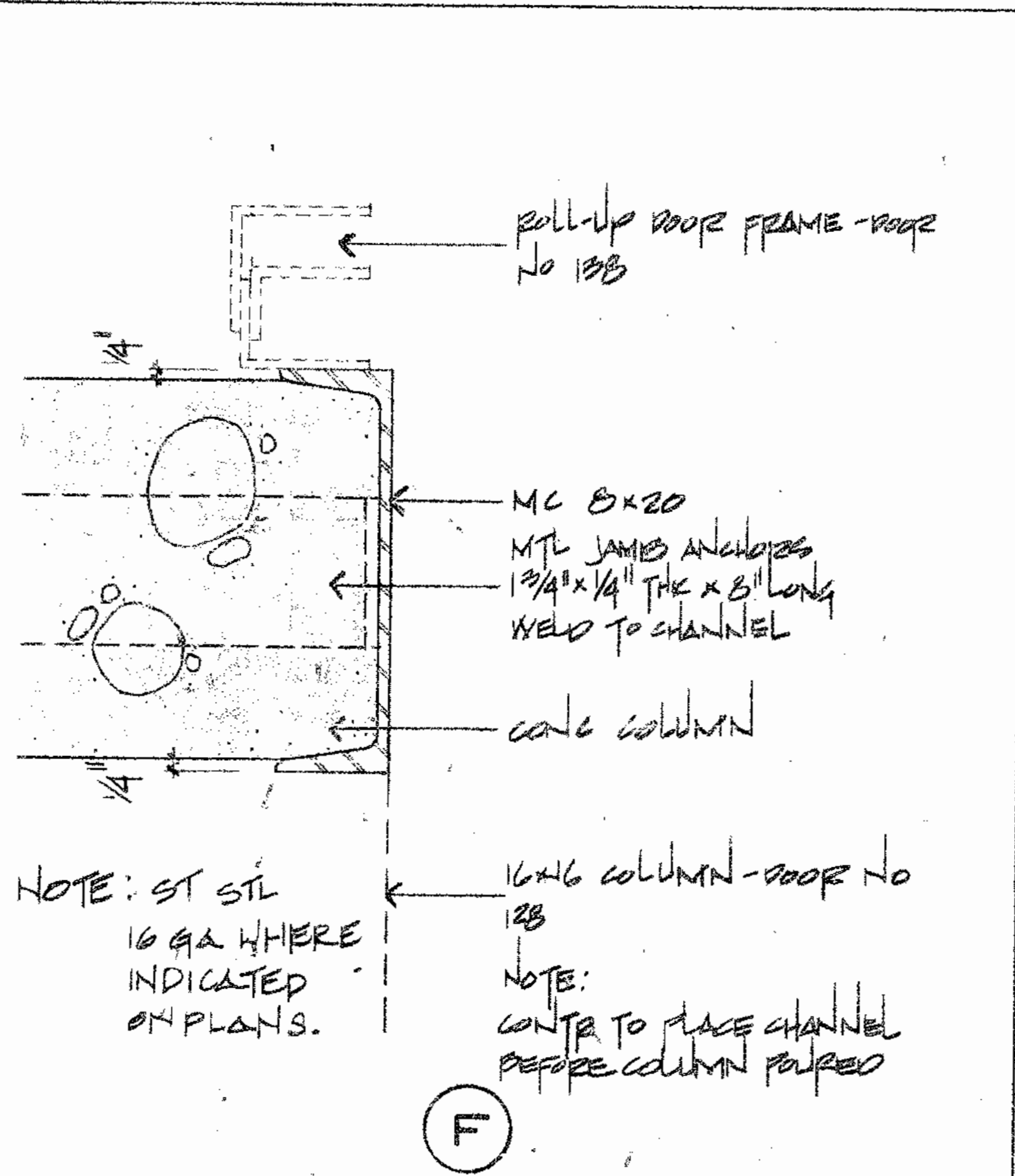
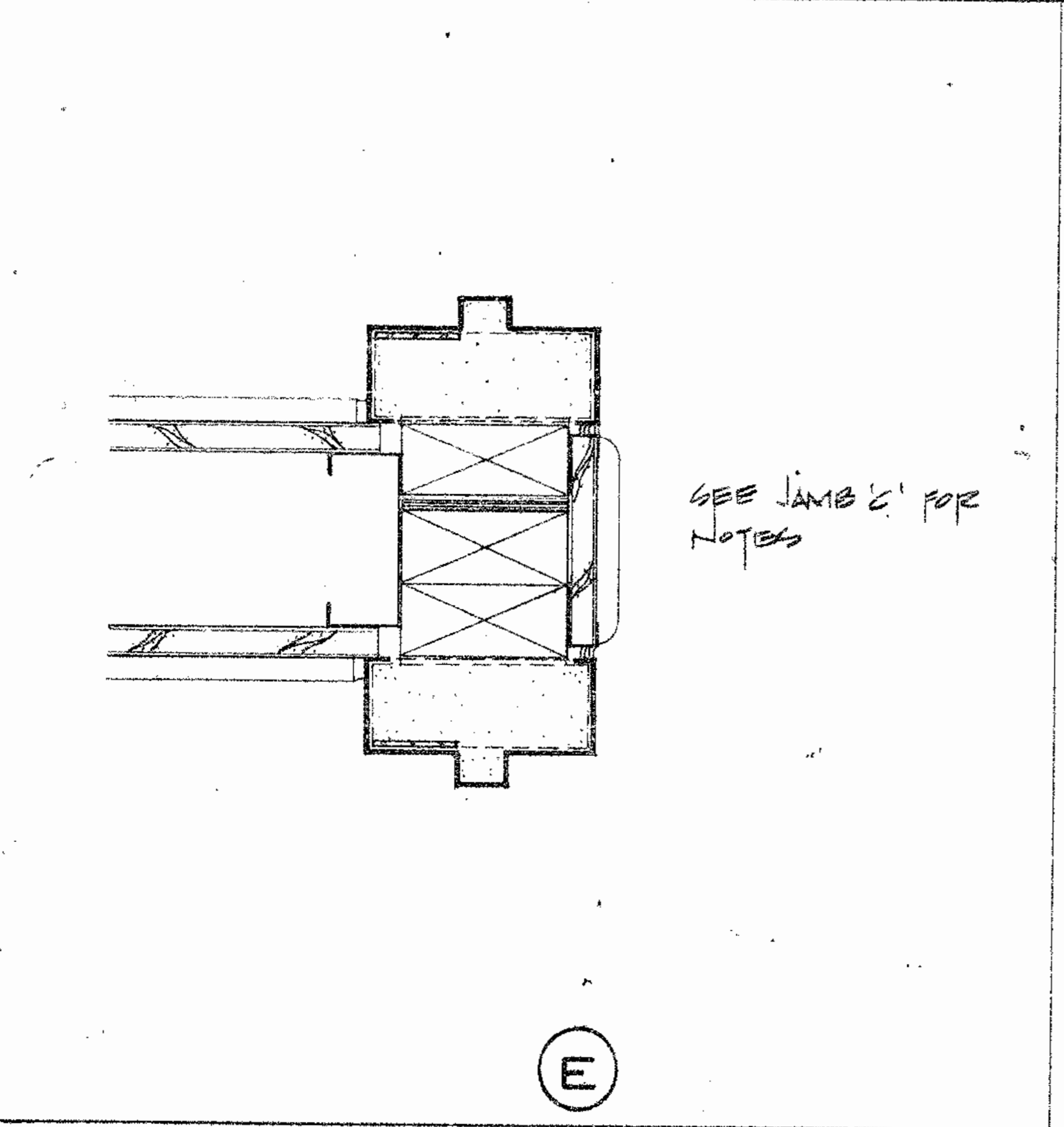
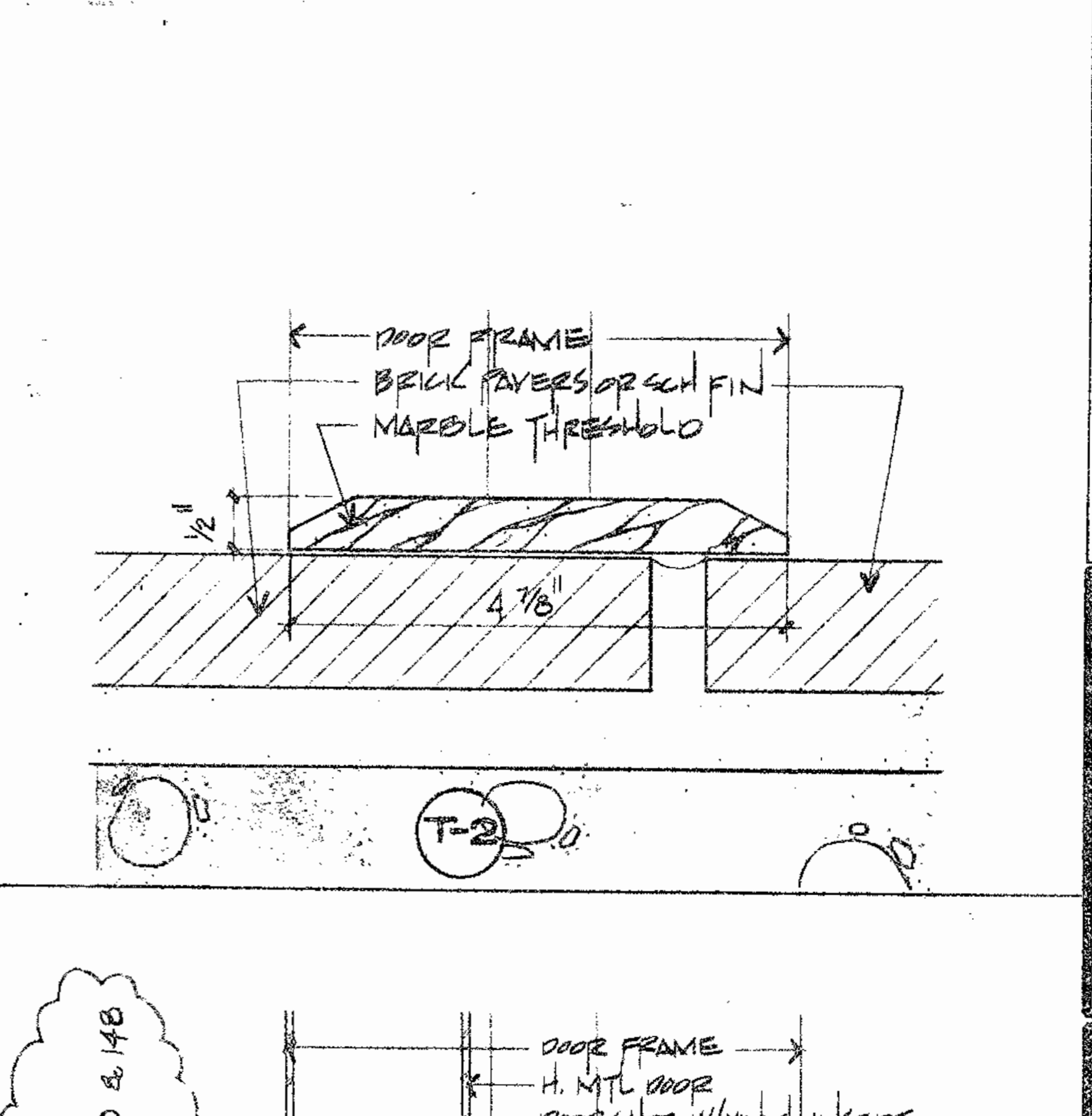
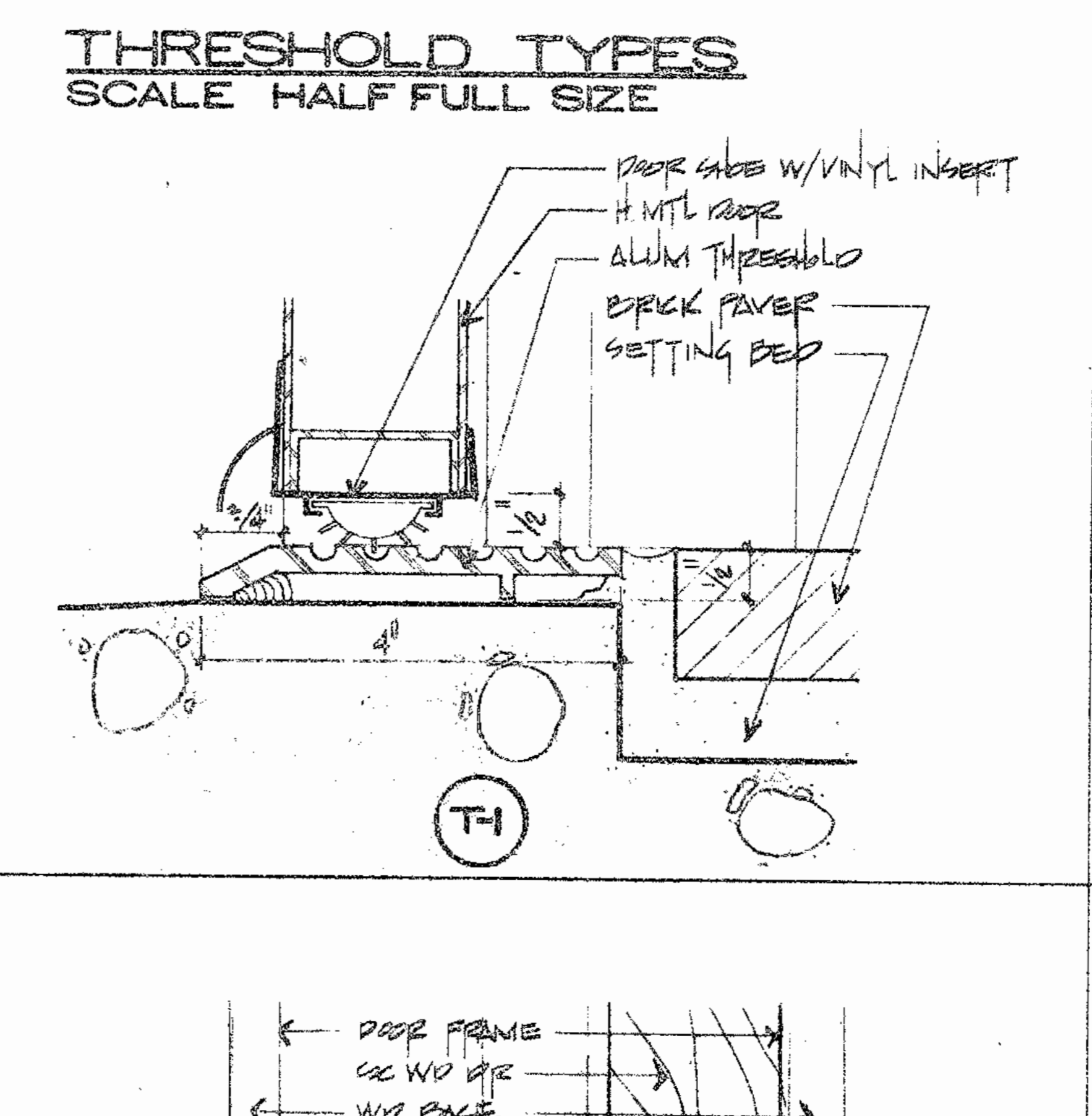
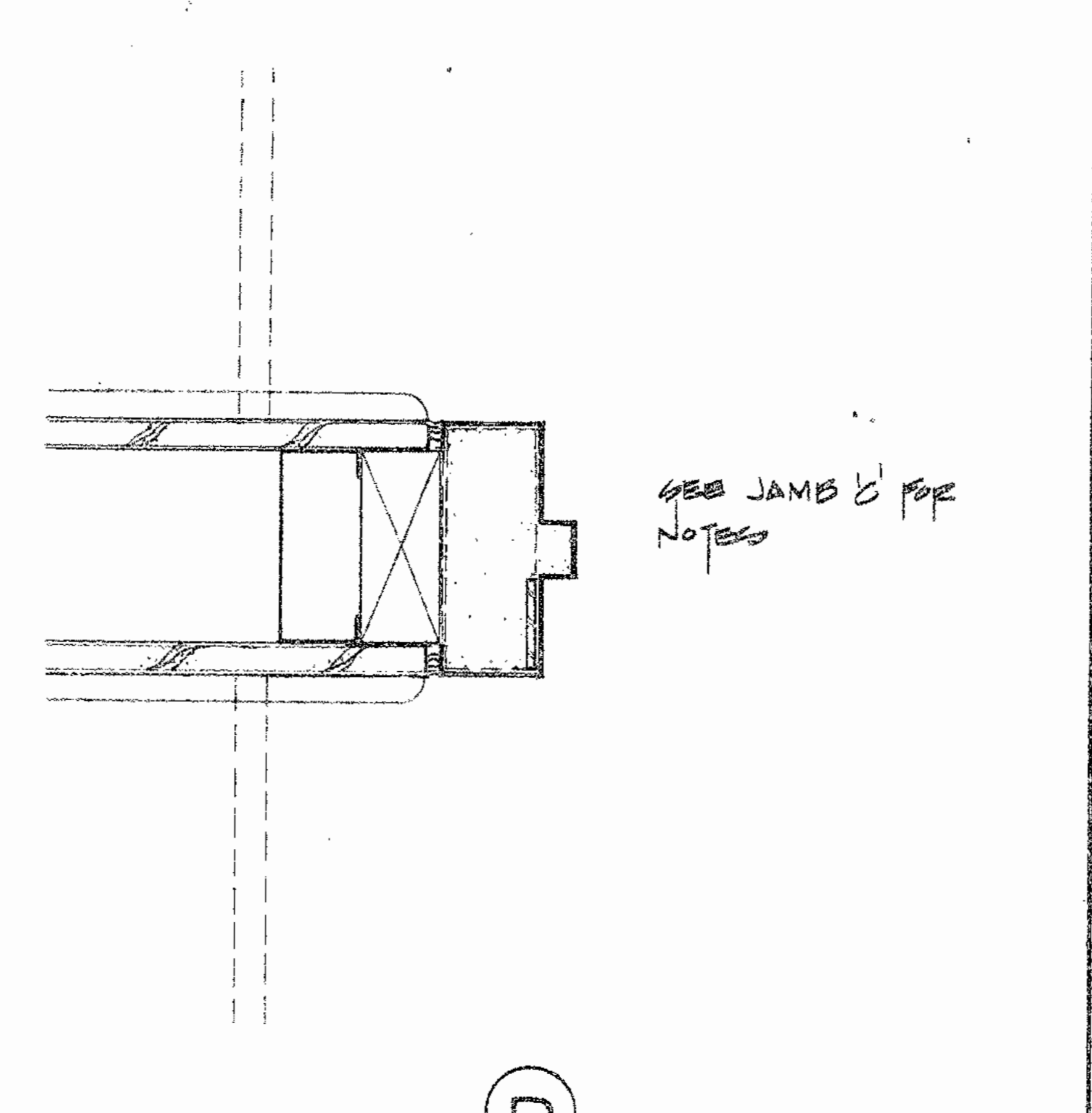
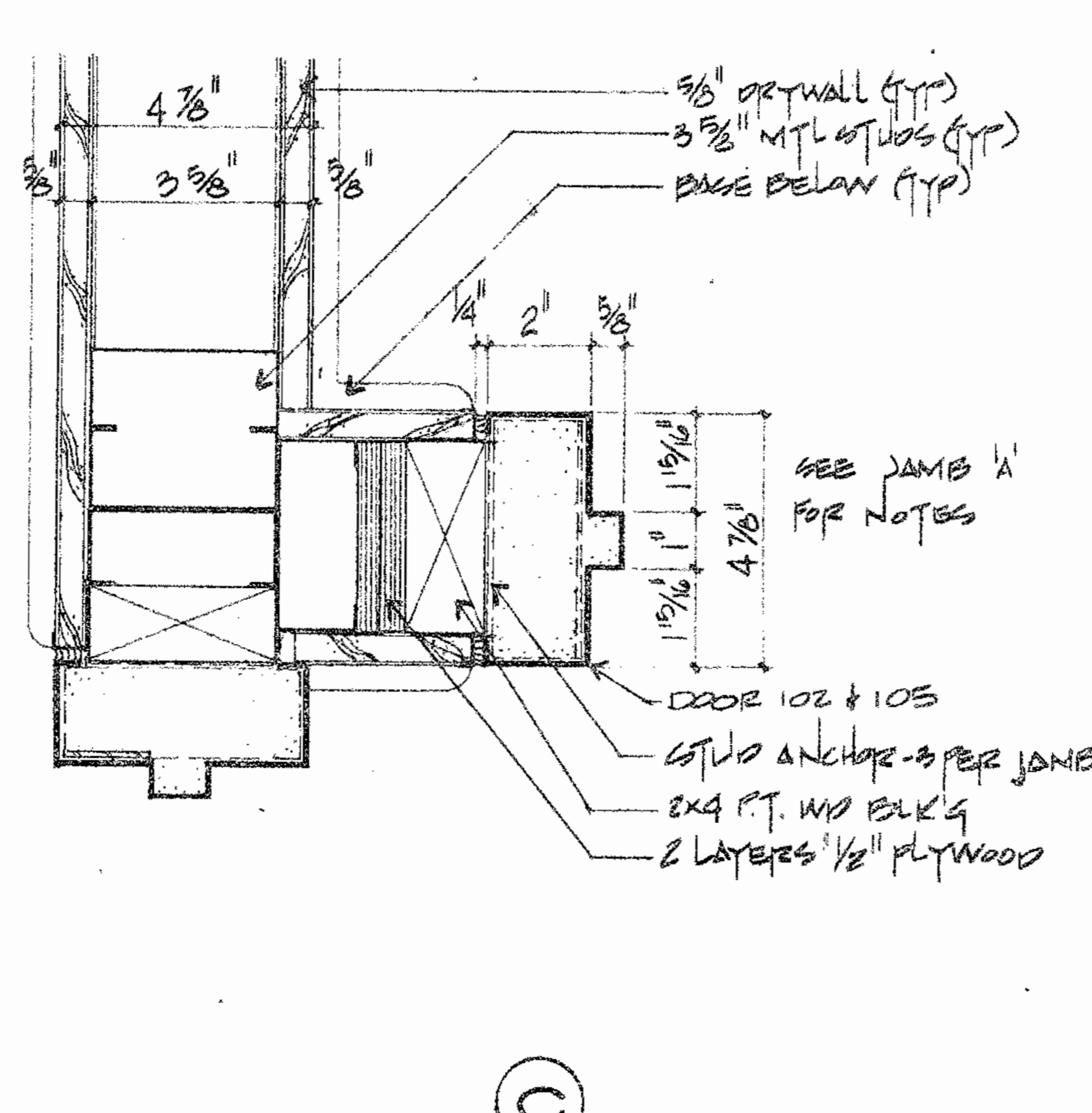
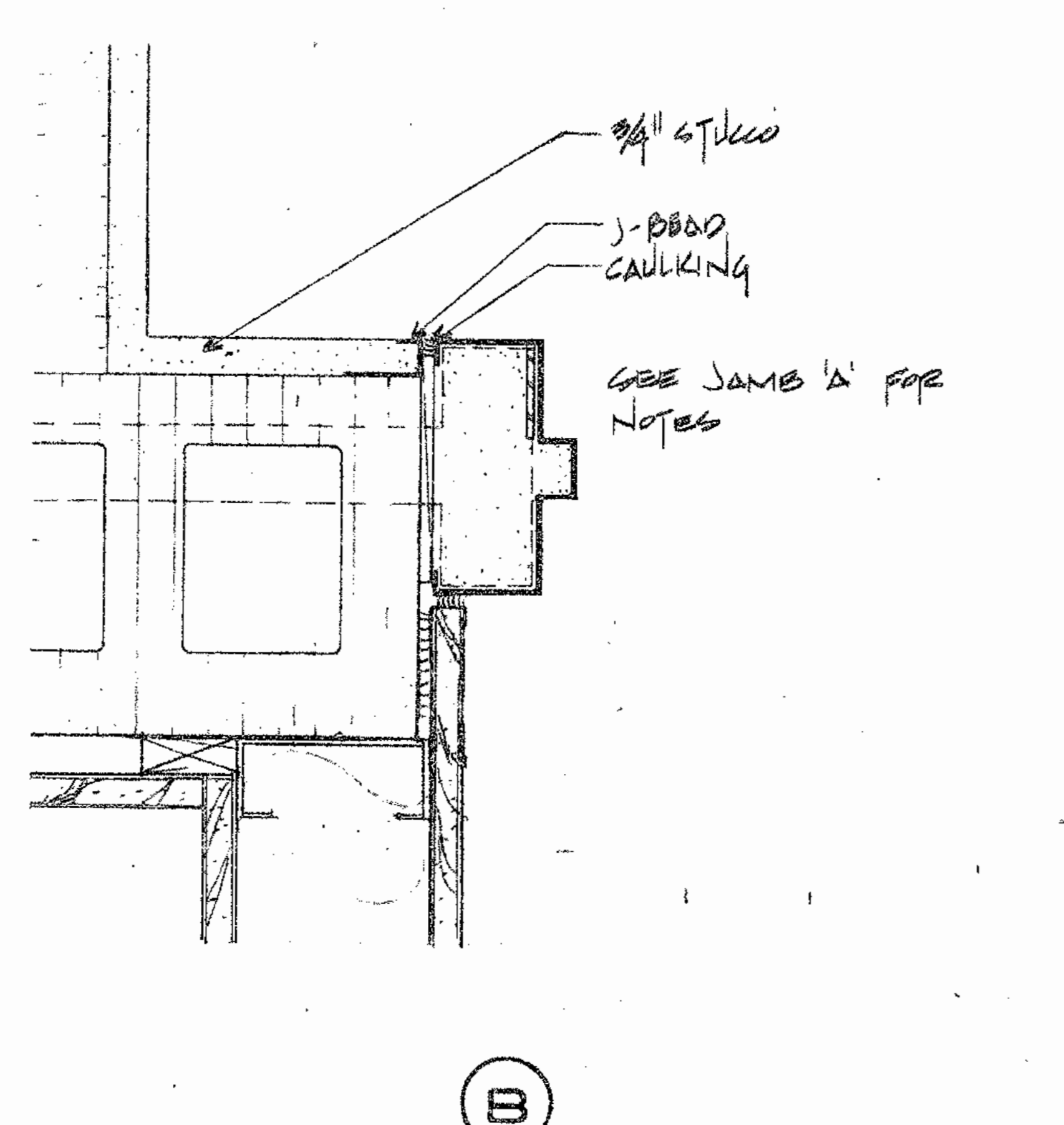
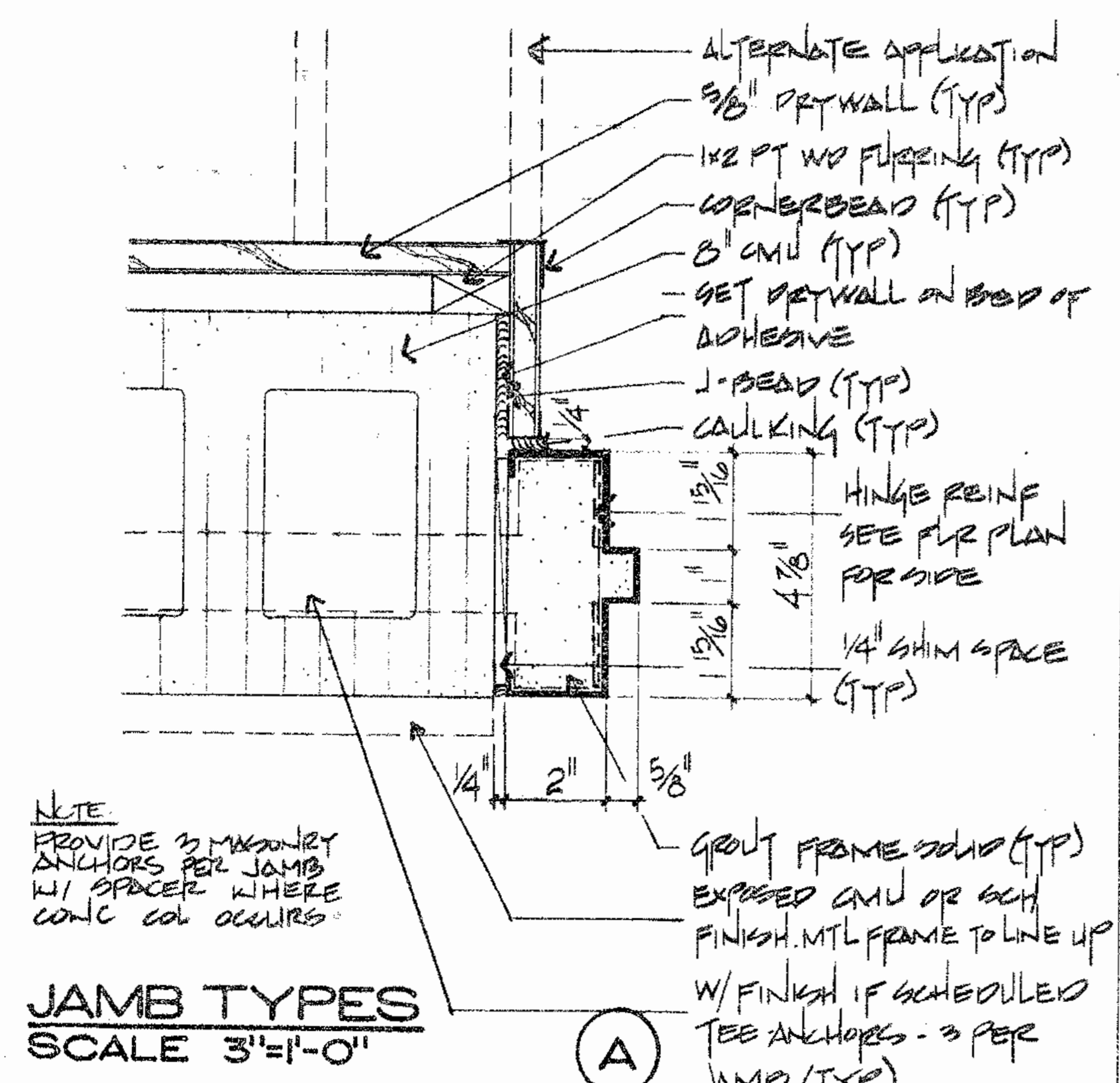


Revision table with columns: NO., DATE, BY, DESCRIPTION.

TINNEY-RUIZ & PARTNERS, P.A.
Architecture • Planning • Interior Design
3692 S.W. 24th ST., MIAMI, FLORIDA 33155 Telephone (305) 441-0268

COMMISSARY FOR:
DOBBS HOUSES INC.
AT
BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

Client Approval Table with columns: CLIENT APPRO, DATE, APPROVED BY, TITLE.



ALDS DEPT. NO. DATE APPROVED

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Architecture • Planning • Interior Design
3682 S.W. 24th ST. MIAMI, FLORIDA 33145. Telephone 805-441-0288

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DOBBS HOUSES INC.
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BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

CLIENT APPRO. DATE
JGS/JTA/FC DATE
DRAWN DATE 1-21-86
D.D.T. DATE 1-21-86
APPROVED DATE 1-21-86
ISSUED DATE 1-21-86
JOB NO. 85-23

DOOR JAMBS & THRESHOLDS

DRAWING NO. A17 OF 24

200-10

DATE	1-2-86	DATE	1-2-86
DESIGNED BY	J.R.	DESIGNED BY	J.R.
DRAWN BY	J.R.	DRAWN BY	J.R.
CHECKED BY	J.R.	CHECKED BY	J.R.
APPROVED BY	J.R.	APPROVED BY	J.R.

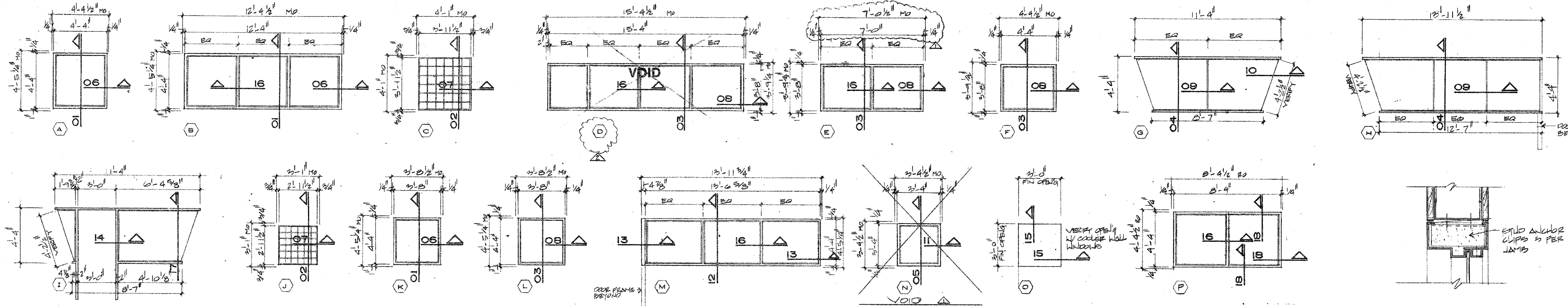
TINNEY-RUIZ & PARTNERS, P.A.
 Architecture • Planning • Interior Design
 3602 SW 24th ST. MIAMI, FLORIDA 33145 Telephone 605-441-0268

**COMMISSARY FOR:
 DOBBS HOUSES INC.**
 AT
 BUILDING 3074
 MIAMI INTERNATIONAL AIRPORT

CLIENT APPRO	DATE	1-2-86
DATE	1-2-86	
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DRAWN BY	DATE	1-2-86
CHECKED BY	DATE	1-2-86
APPROVED BY	DATE	1-2-86

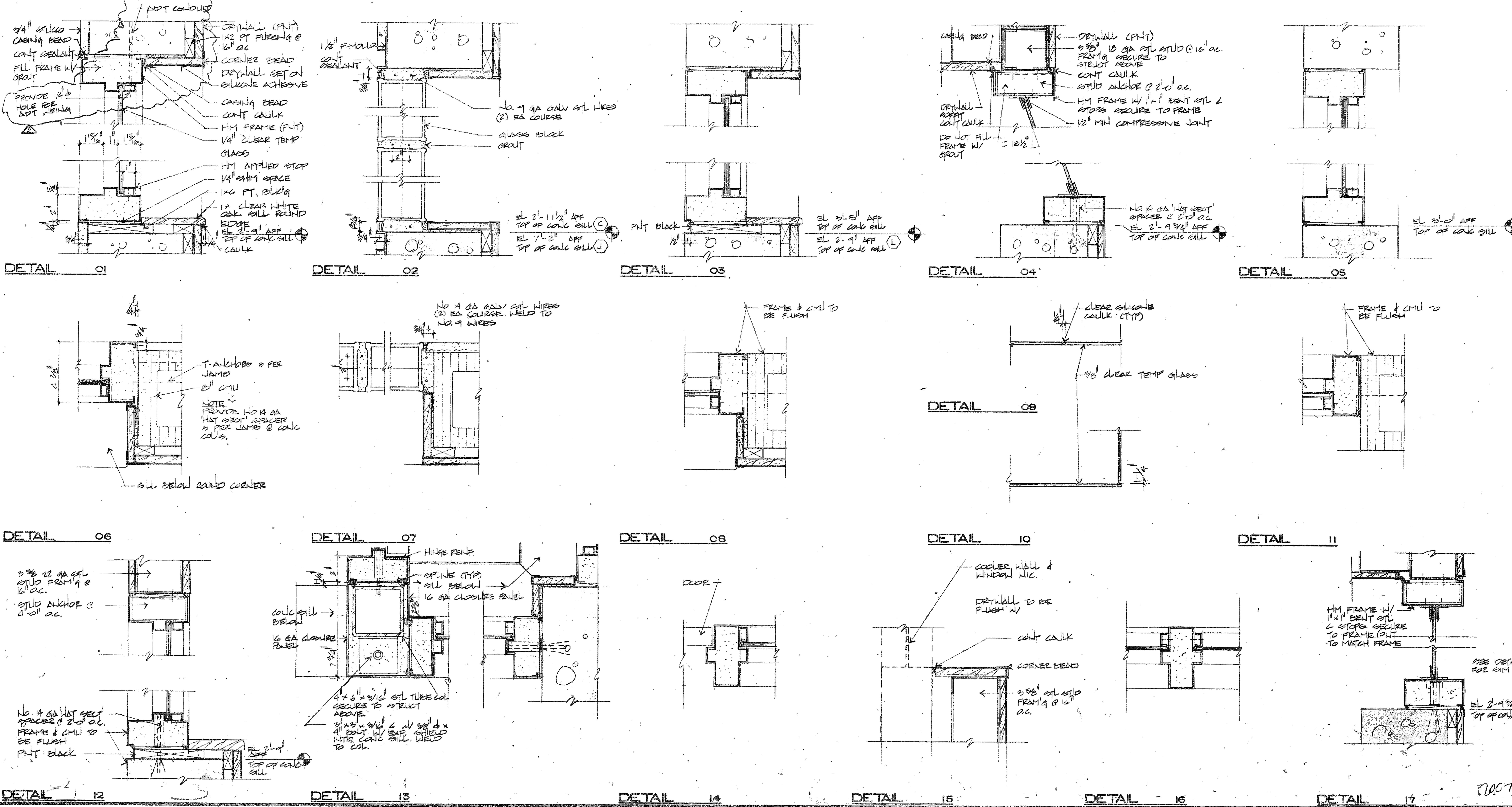
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 WINDOW DETAILS
 DRAWING NO. AIS OF 24

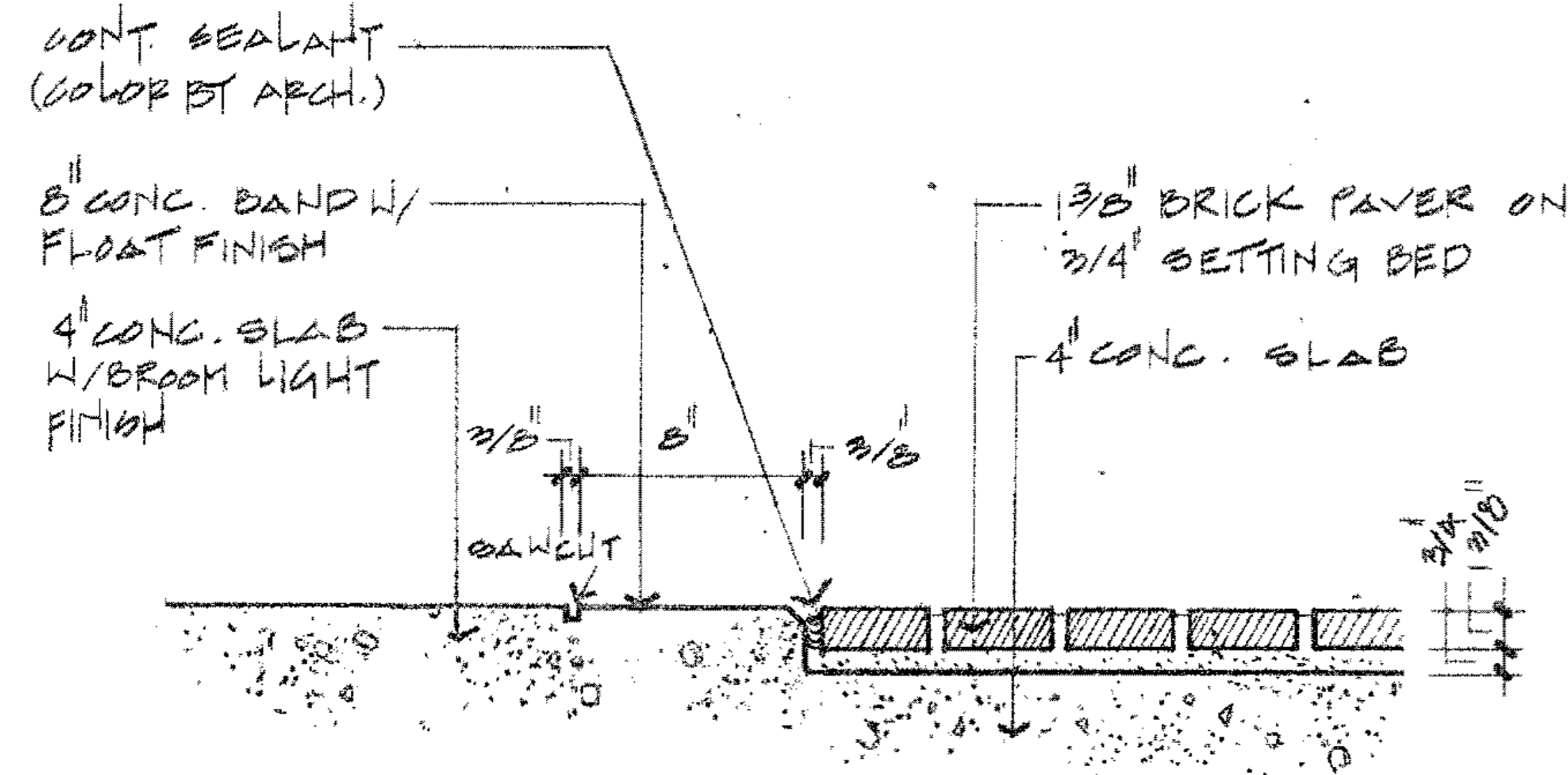
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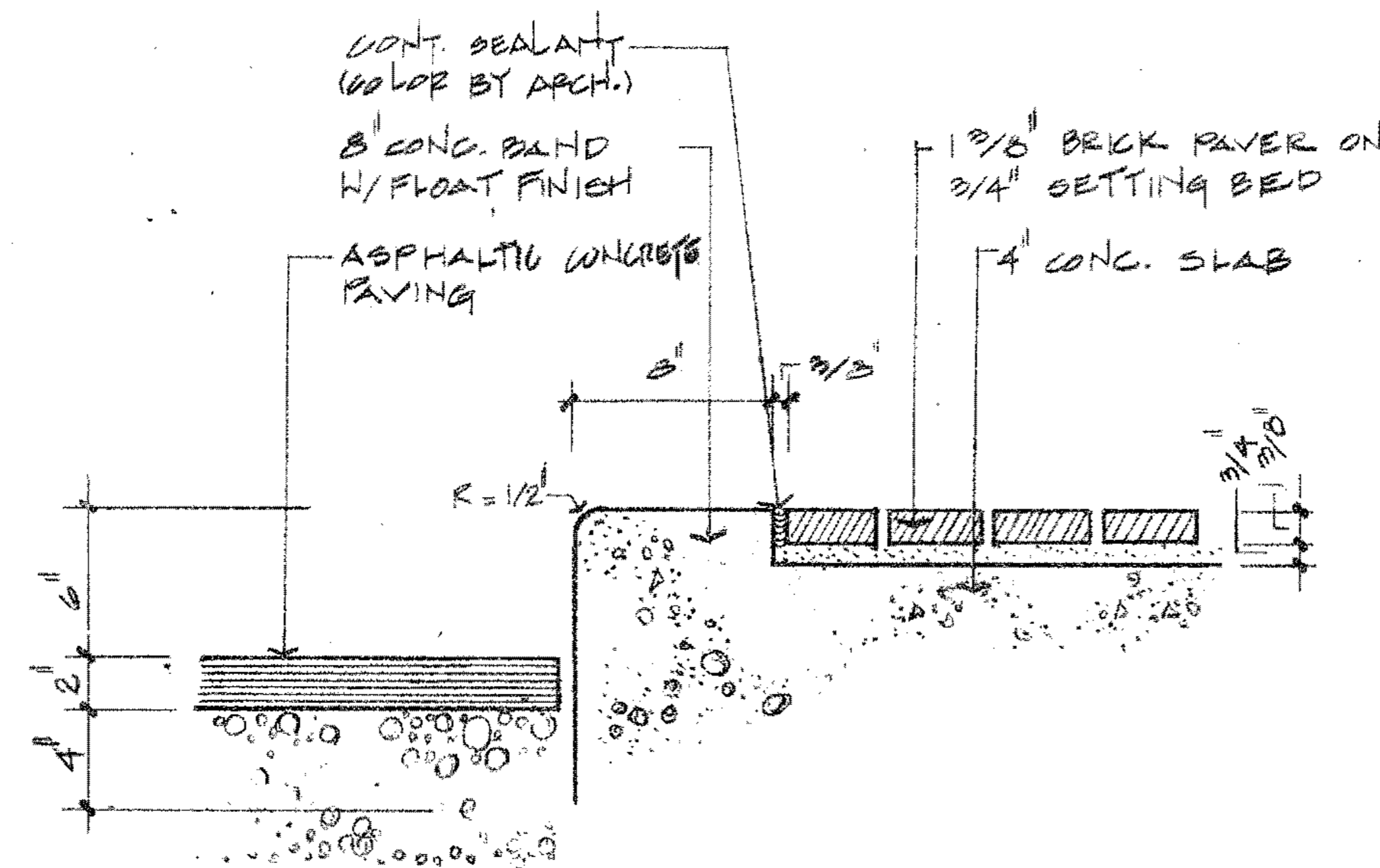
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MATERIAL NOTES
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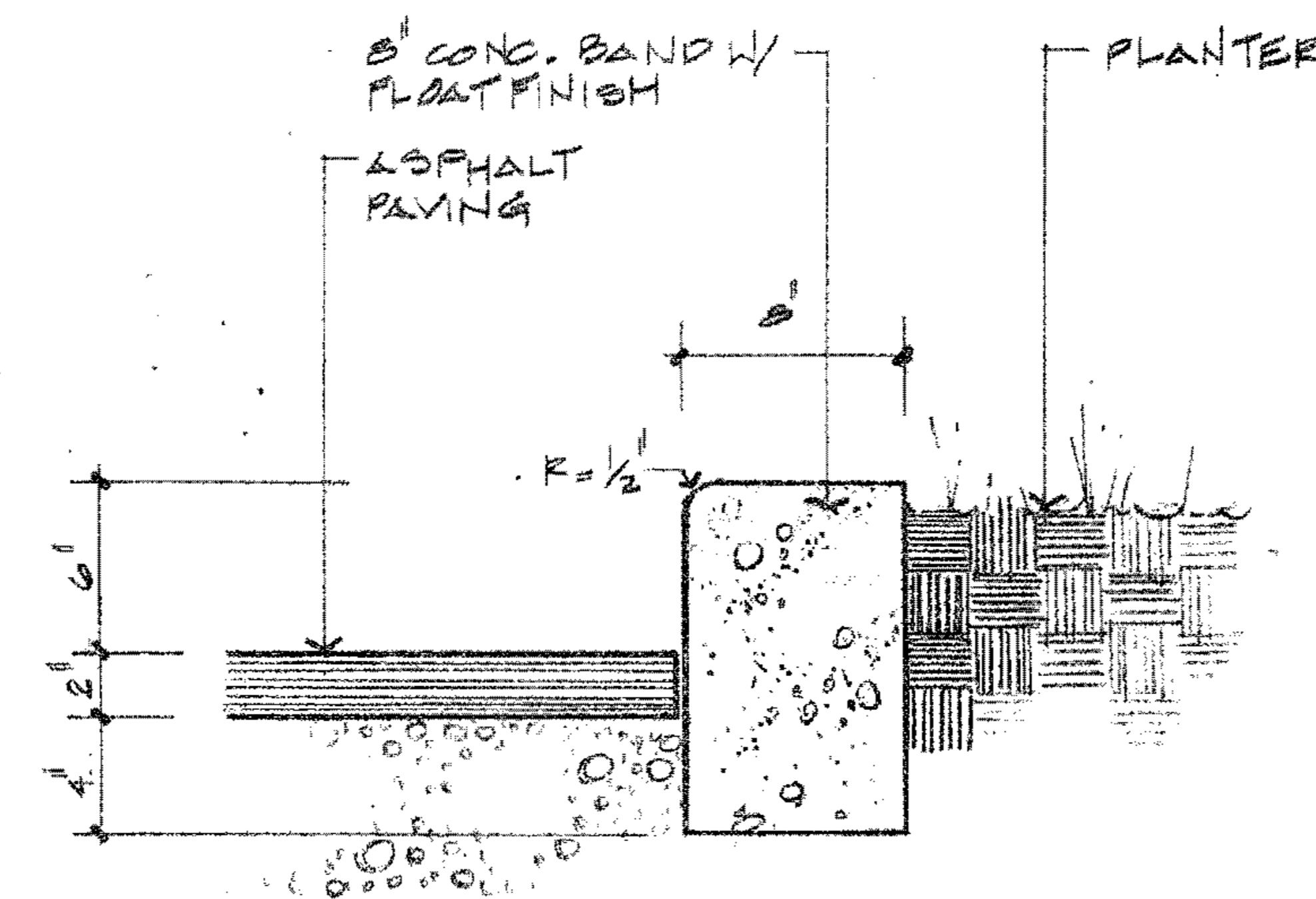




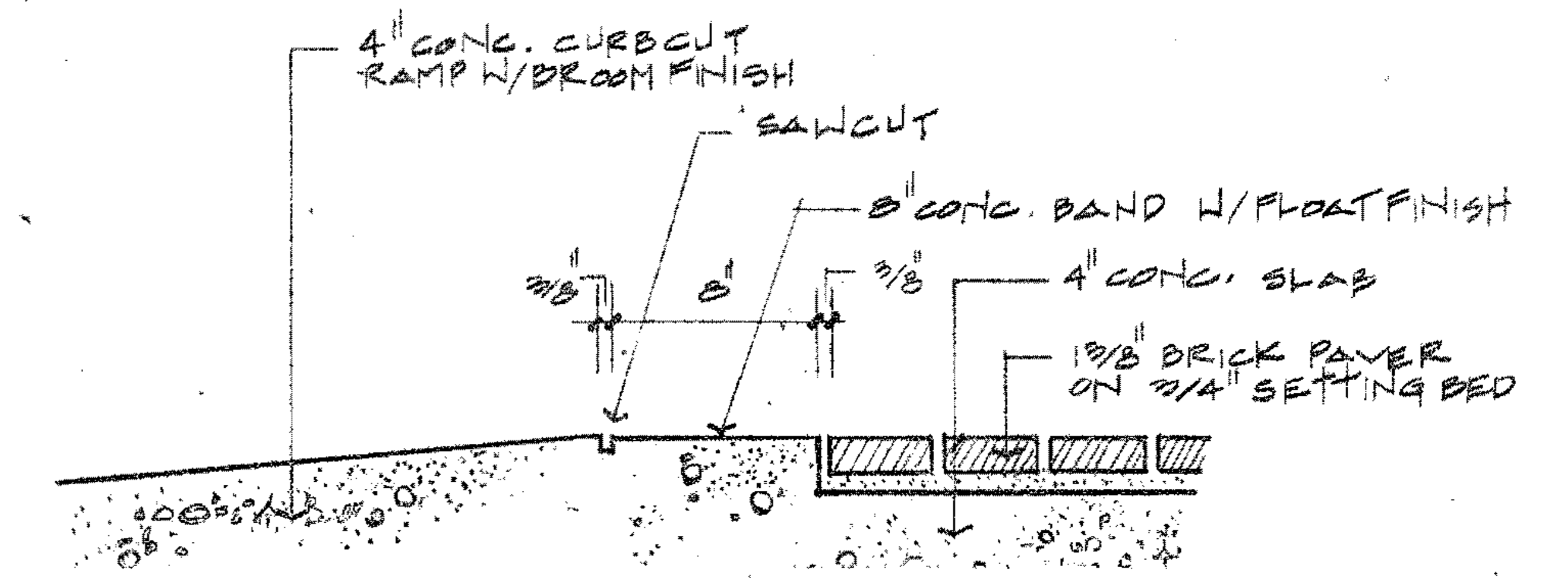
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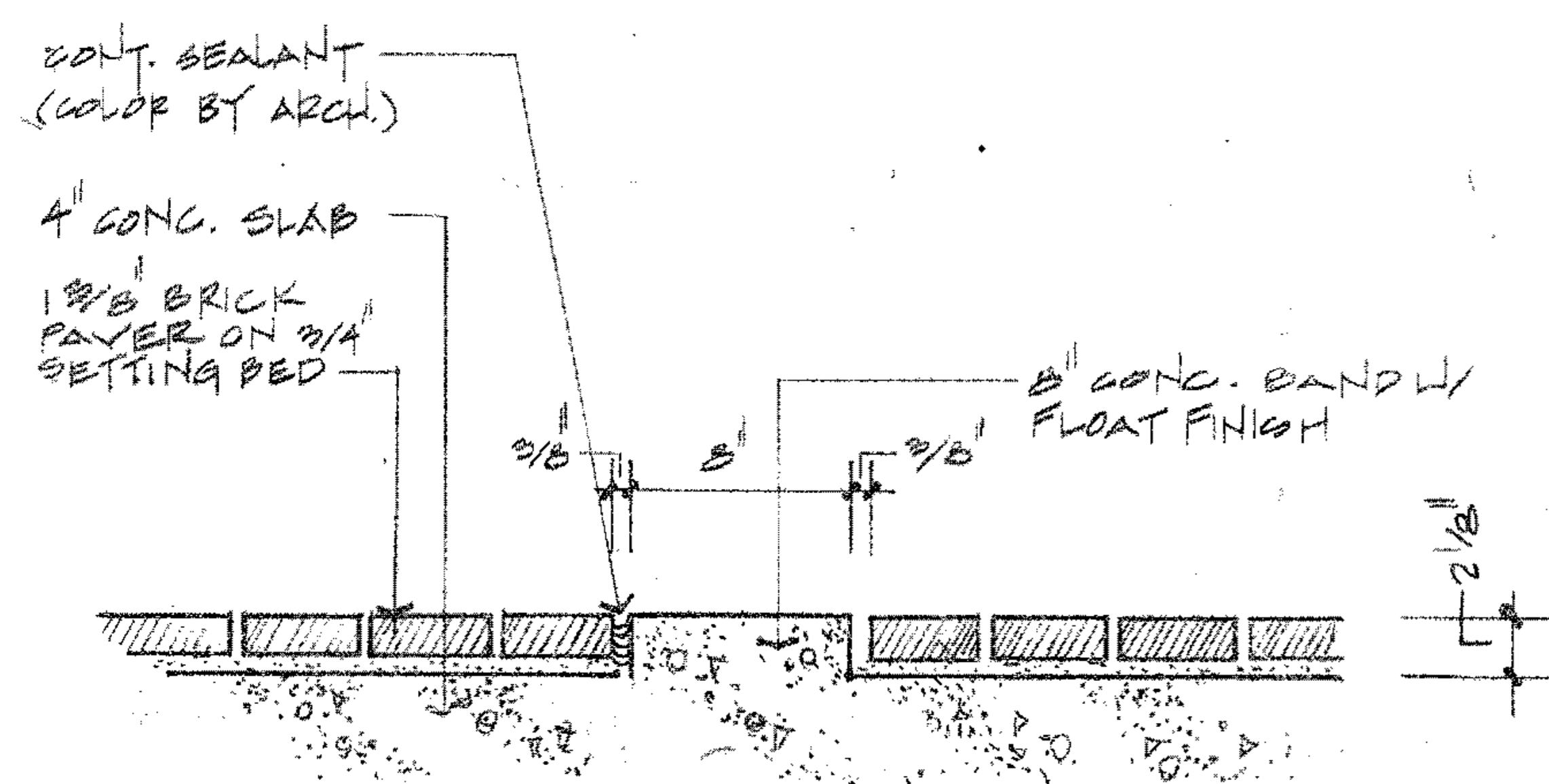
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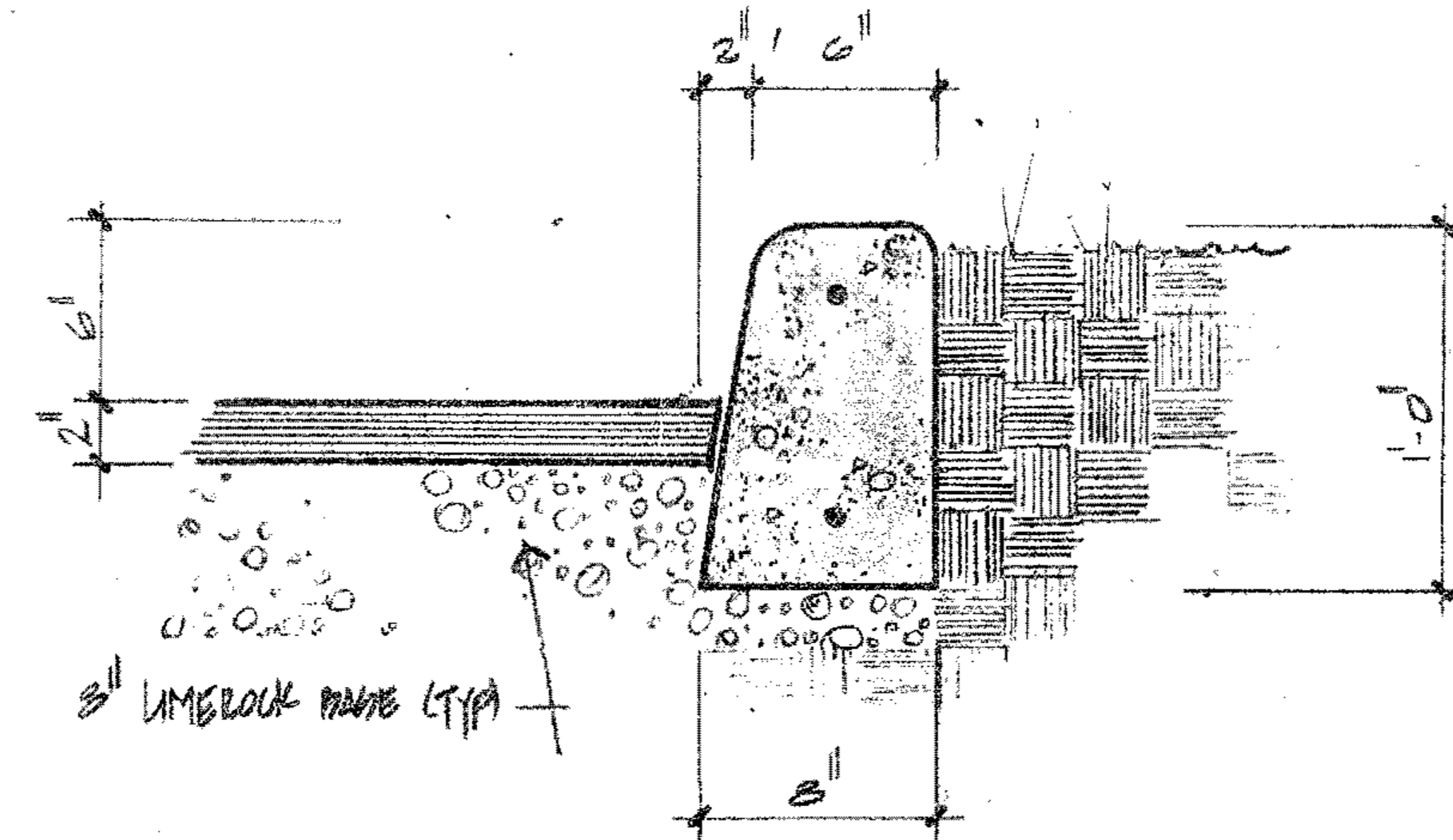
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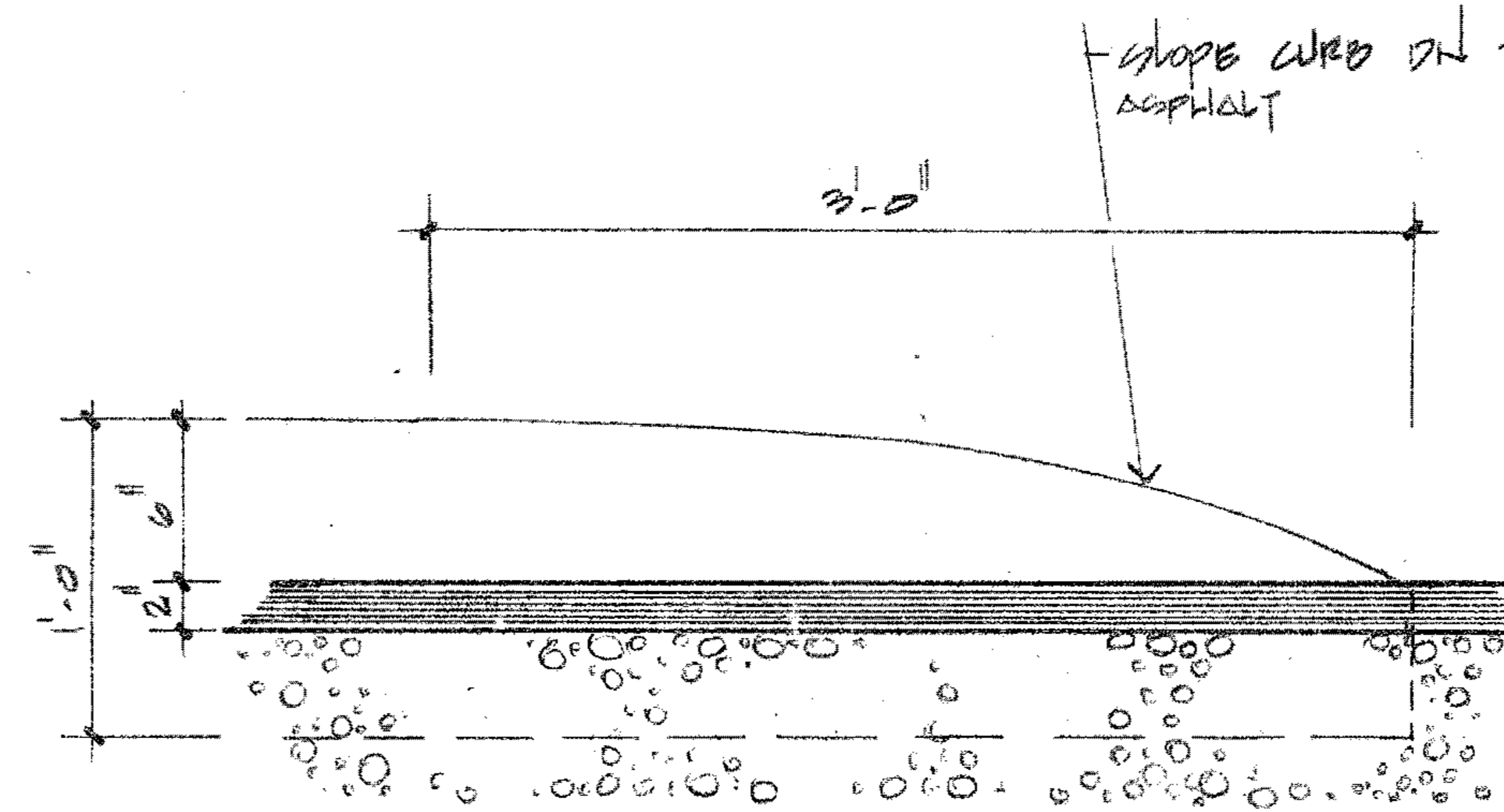
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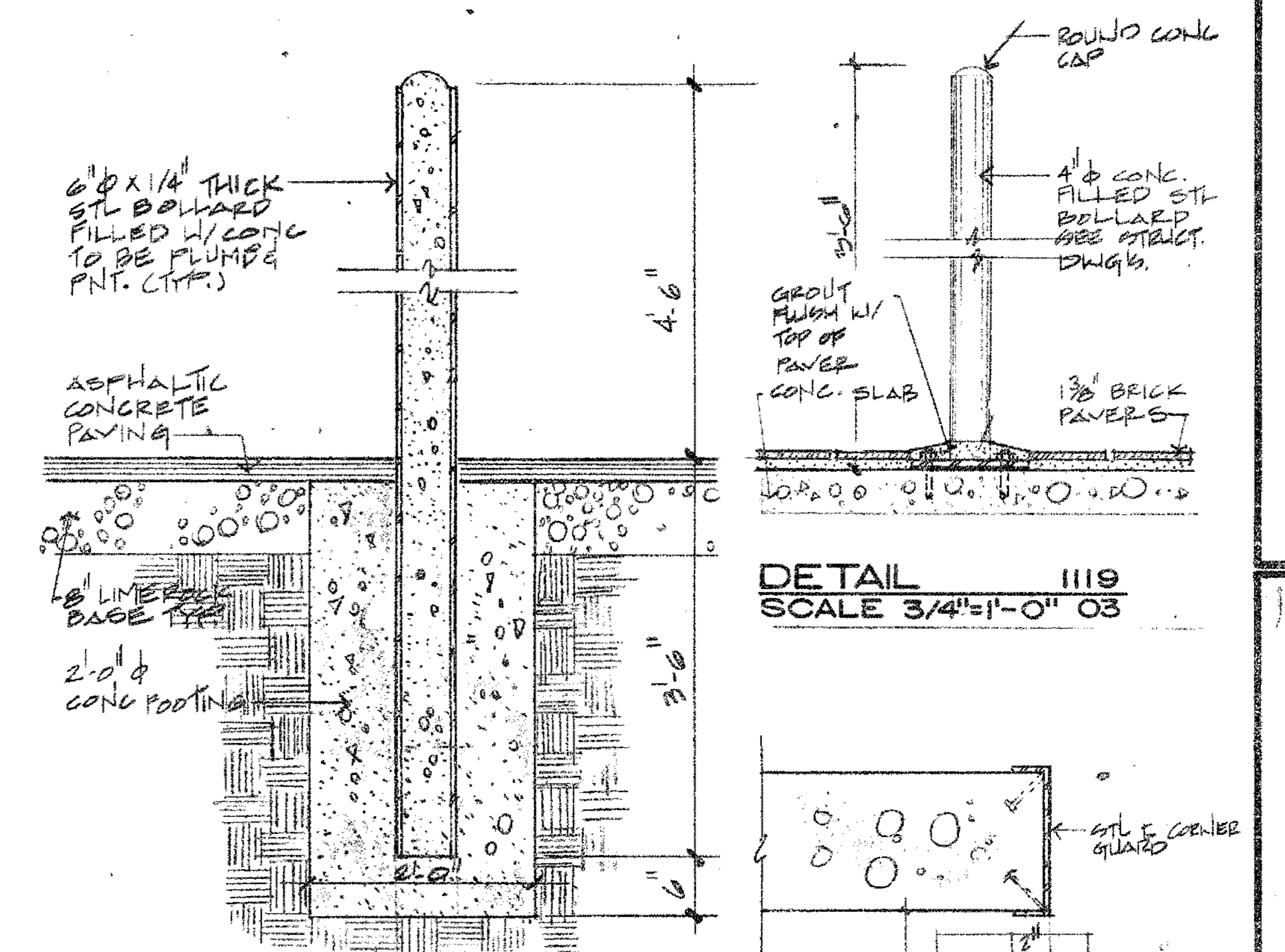
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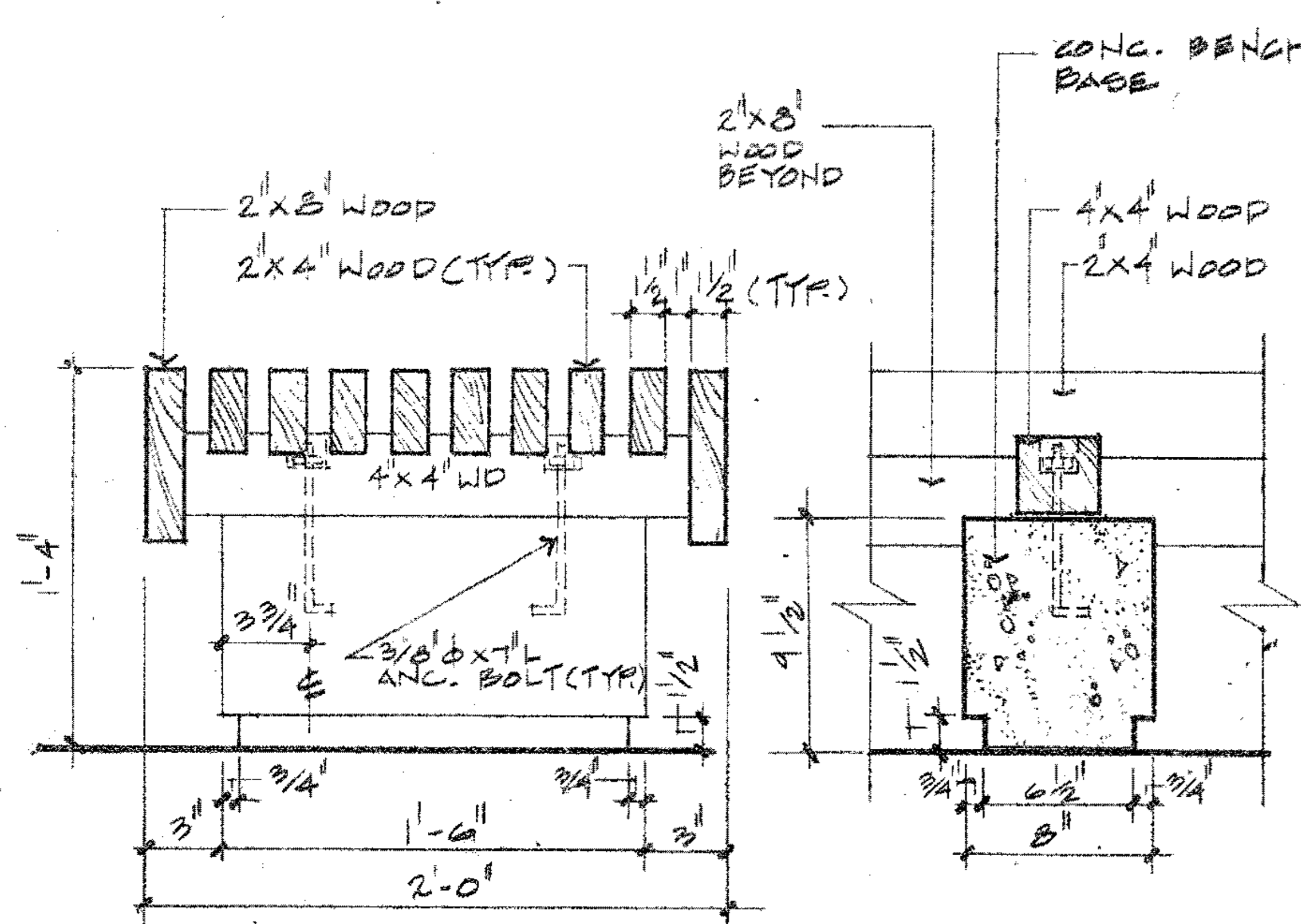
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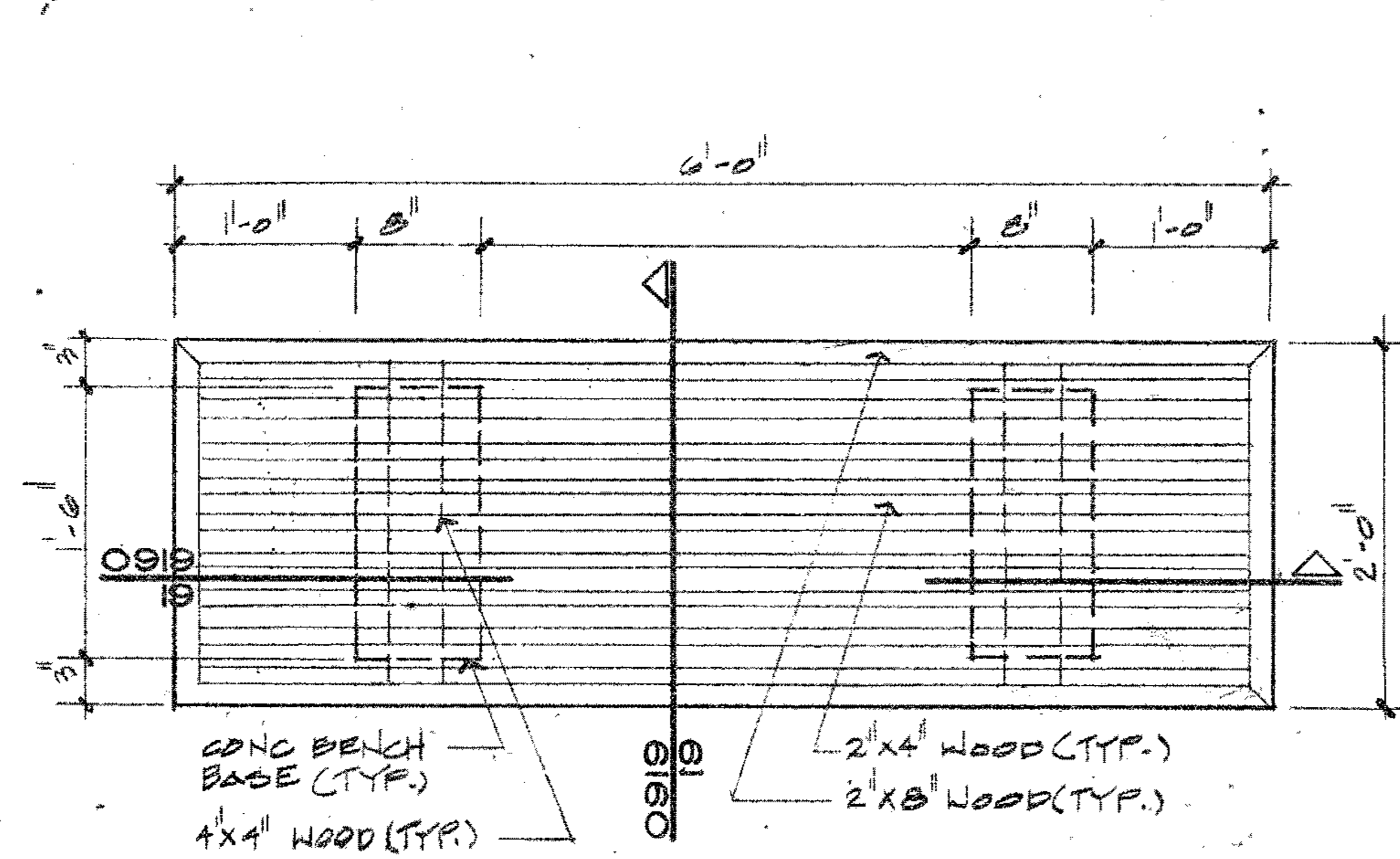
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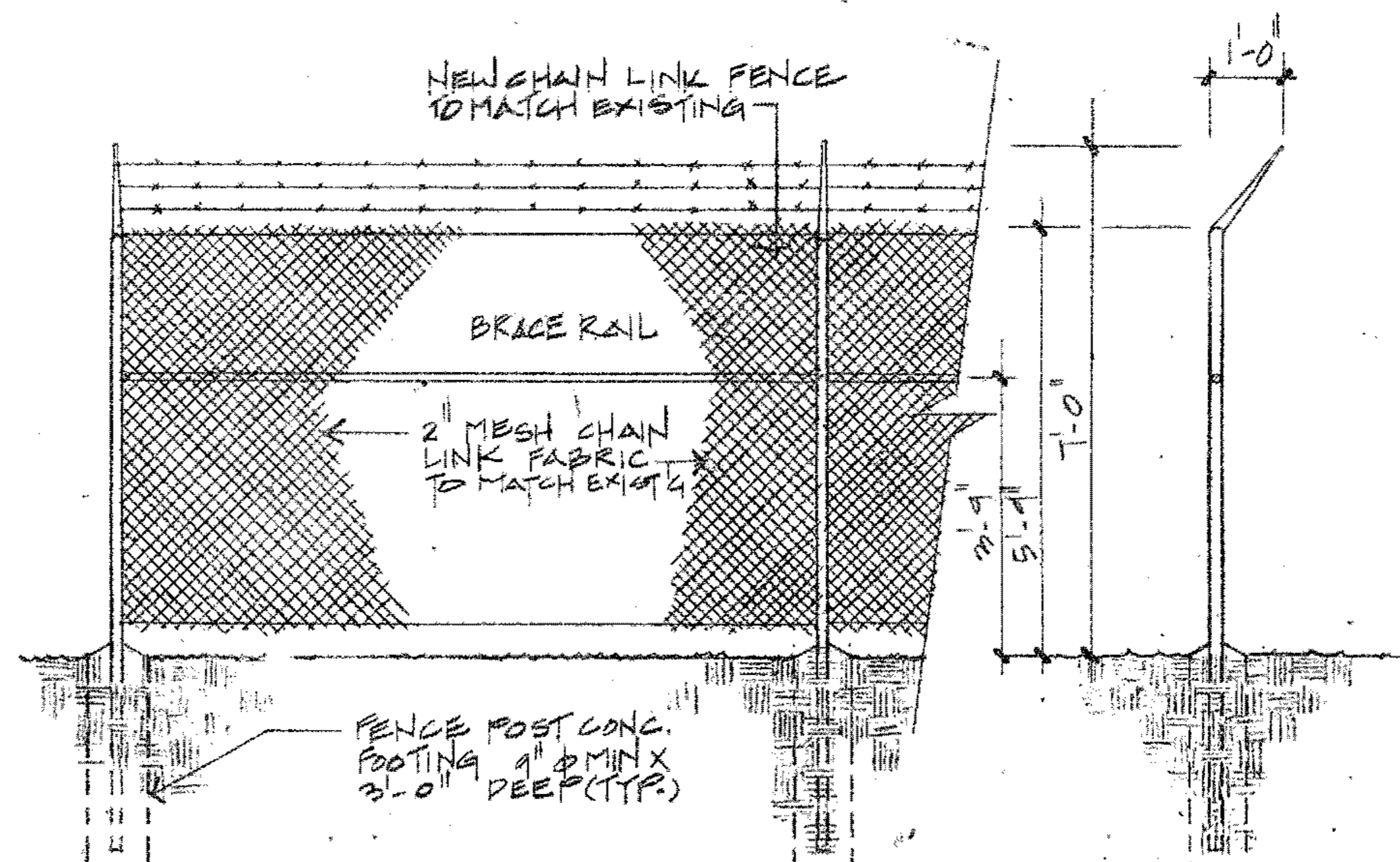
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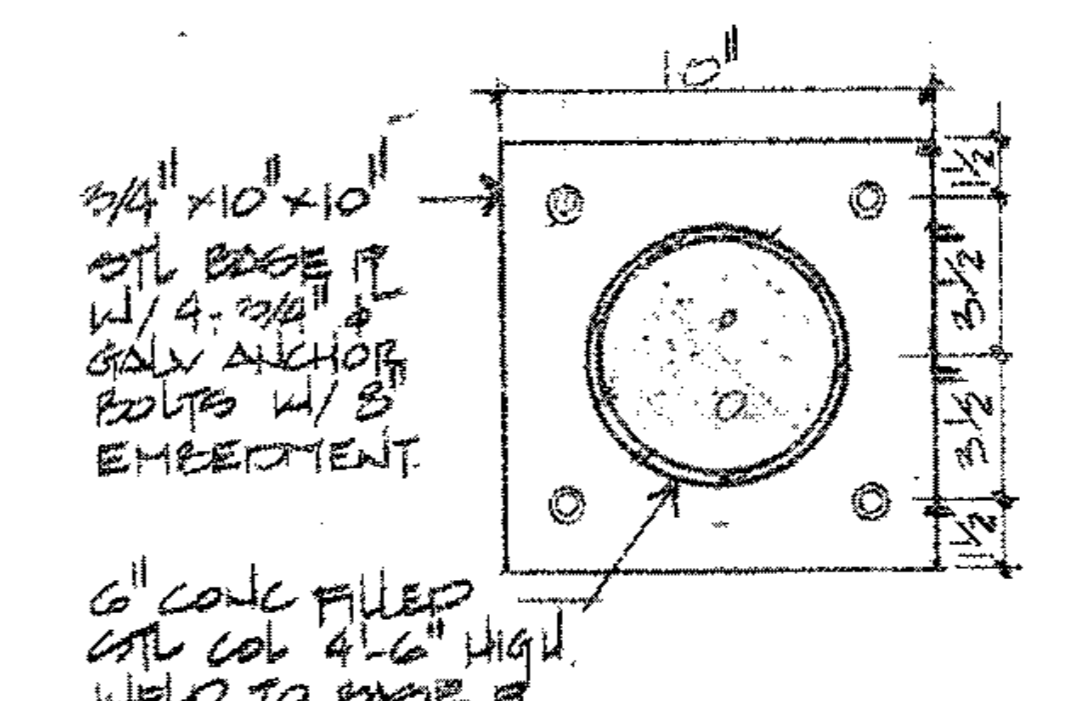
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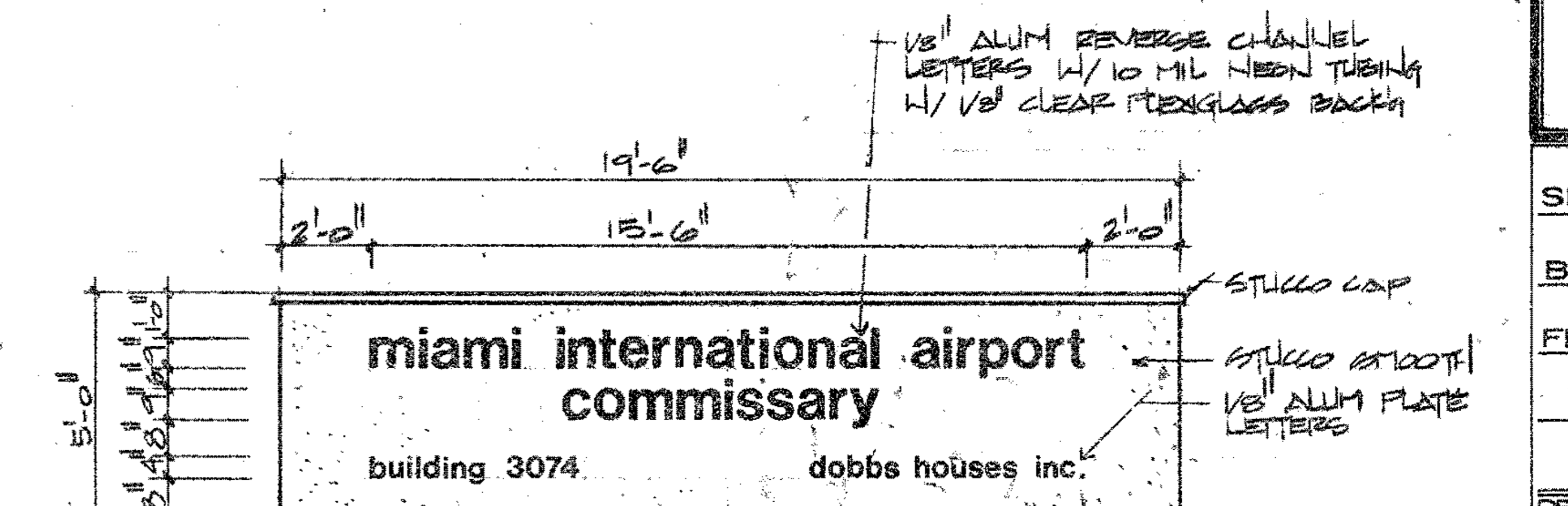
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DETAIL 1319
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DETAIL 1419
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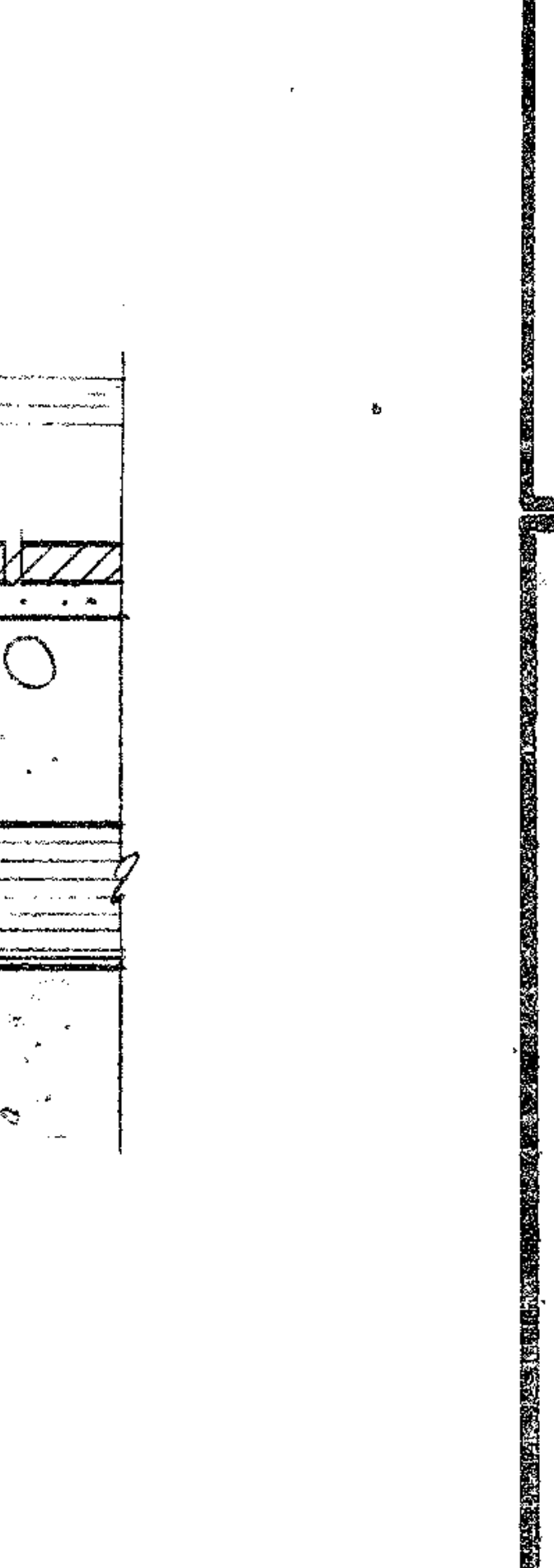
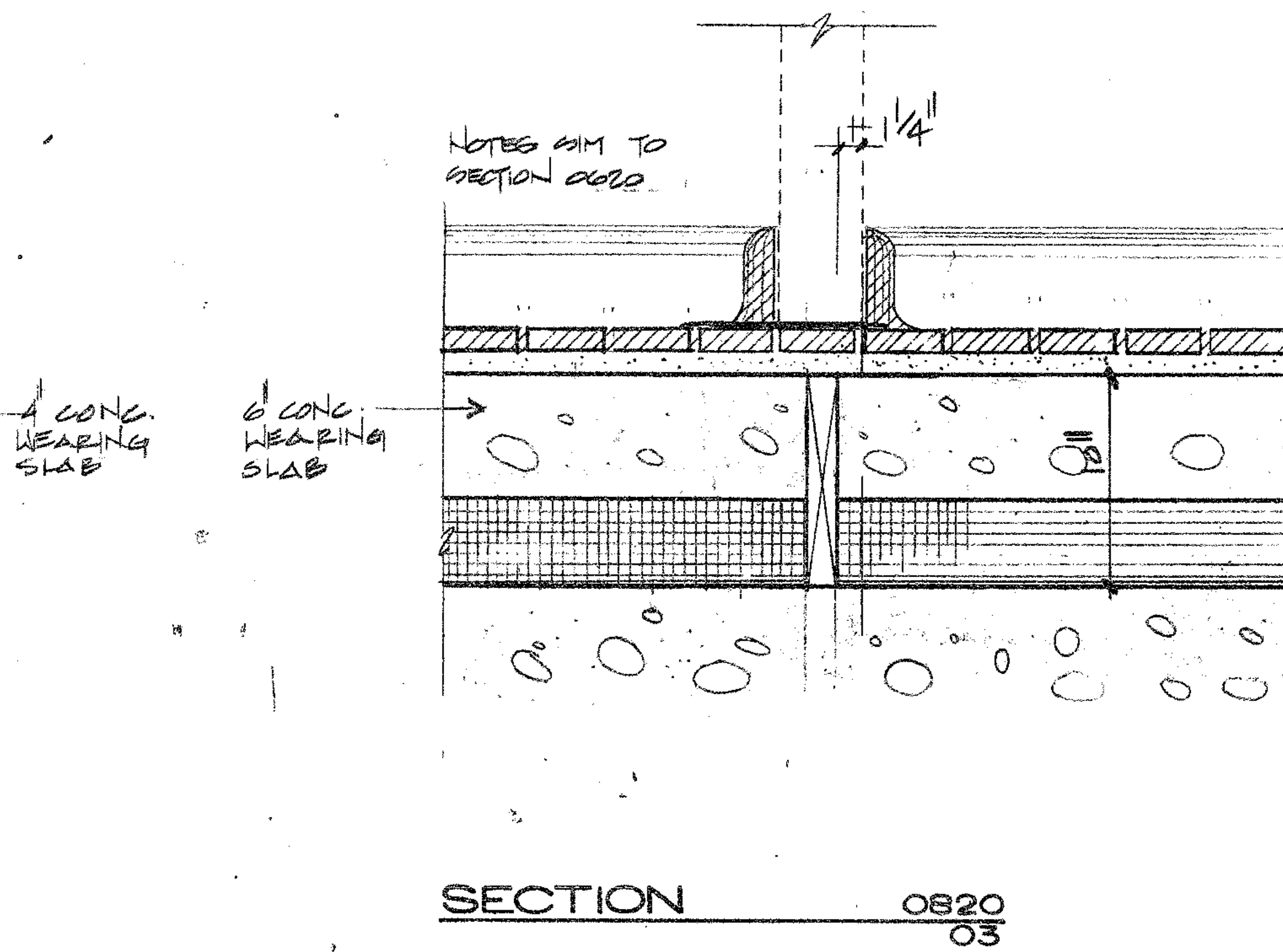
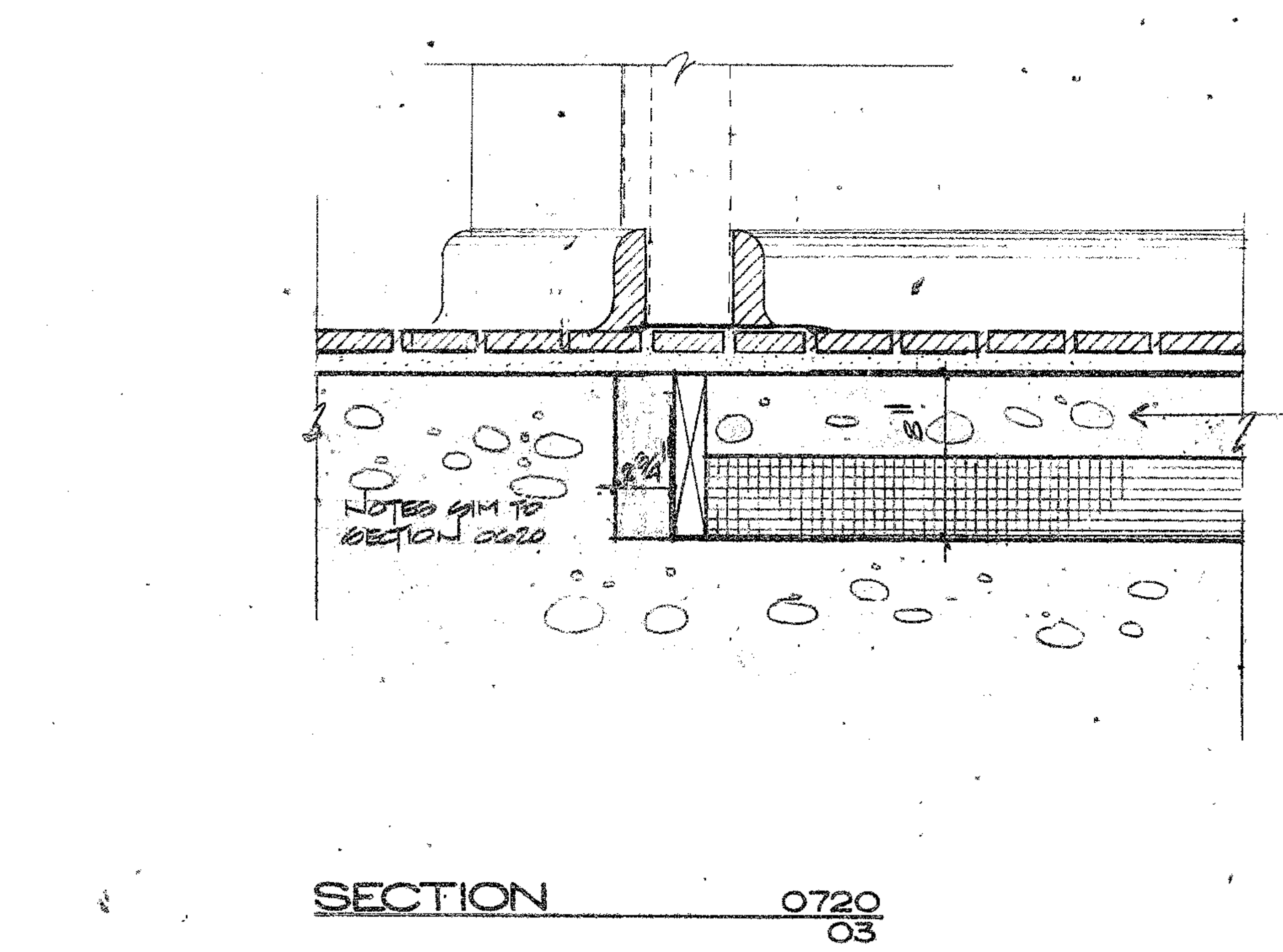
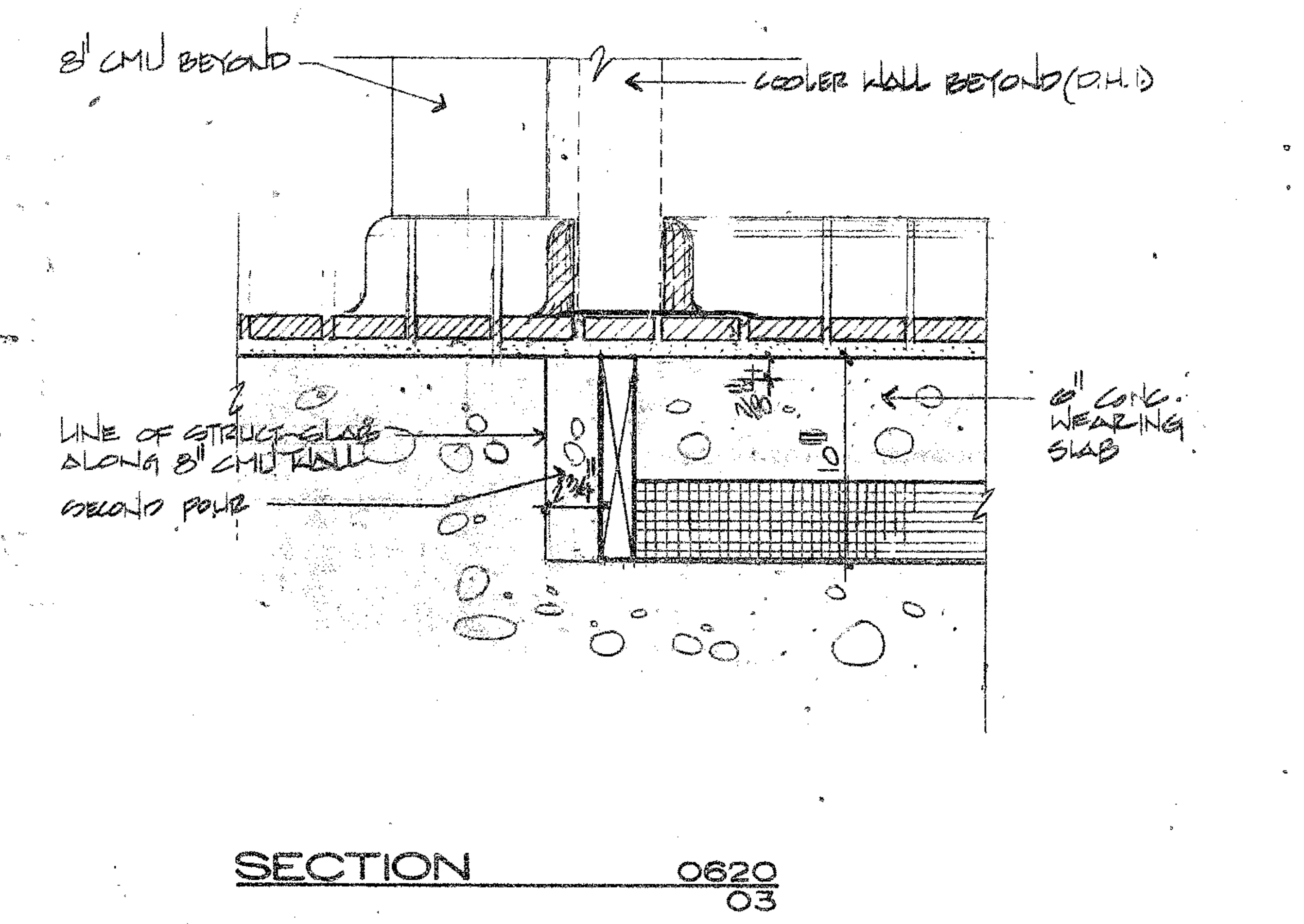
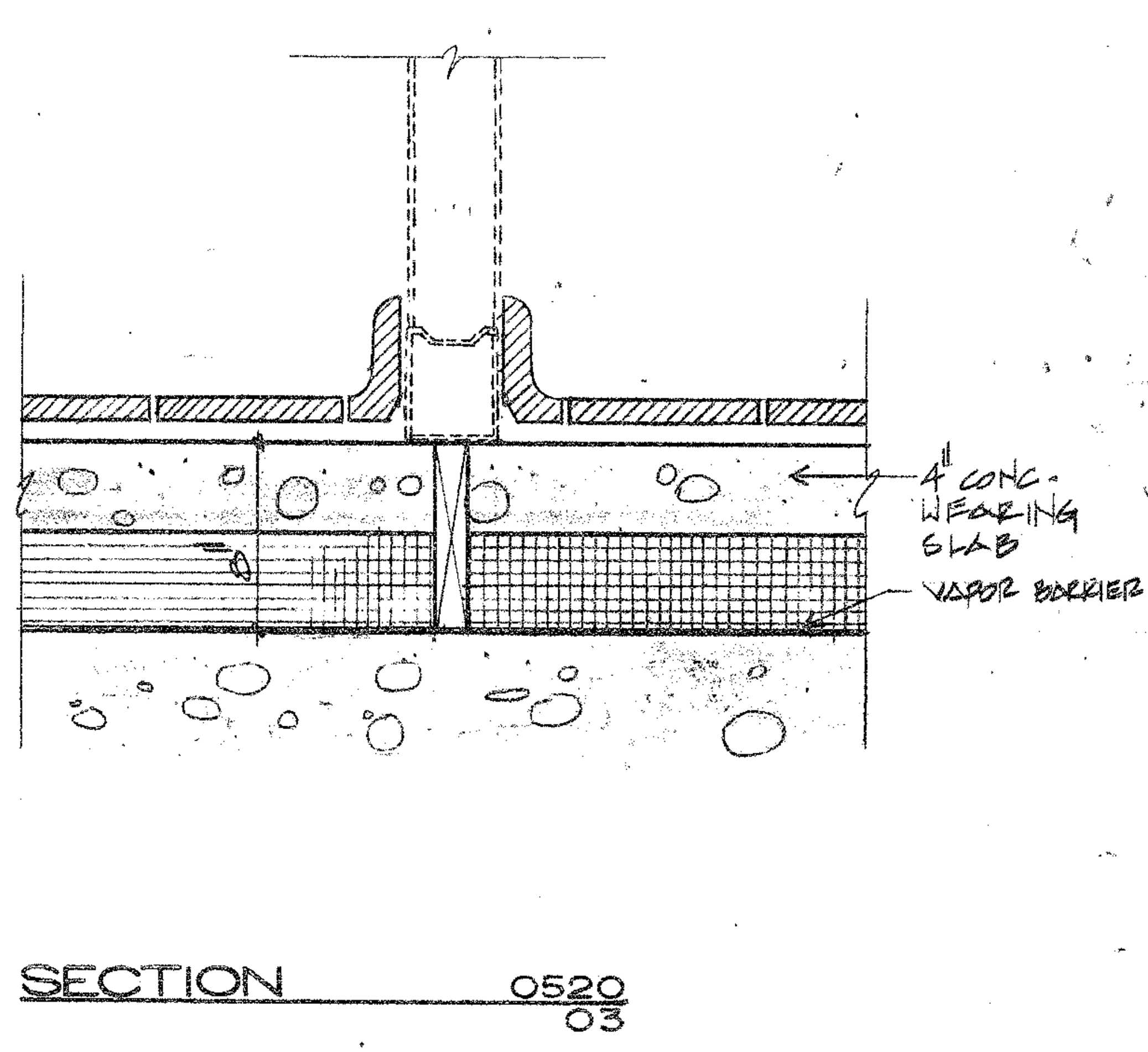
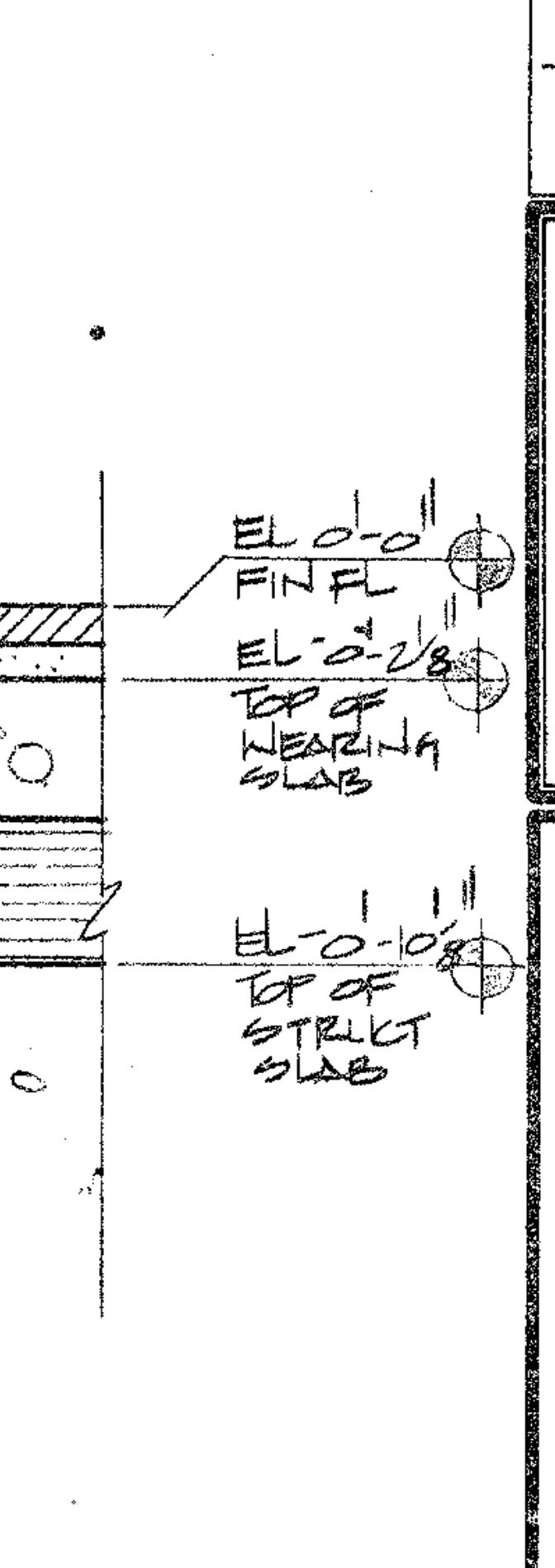
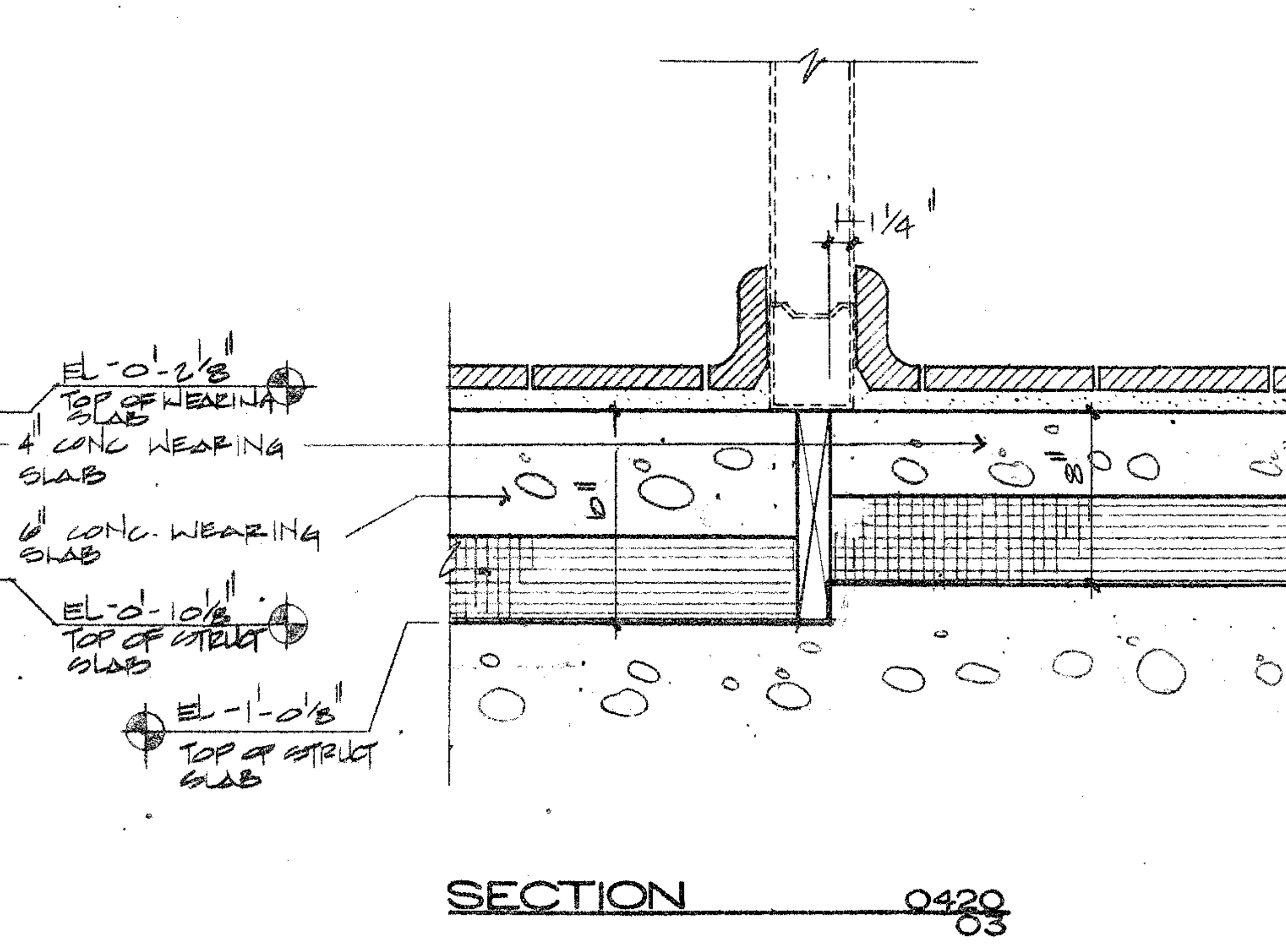
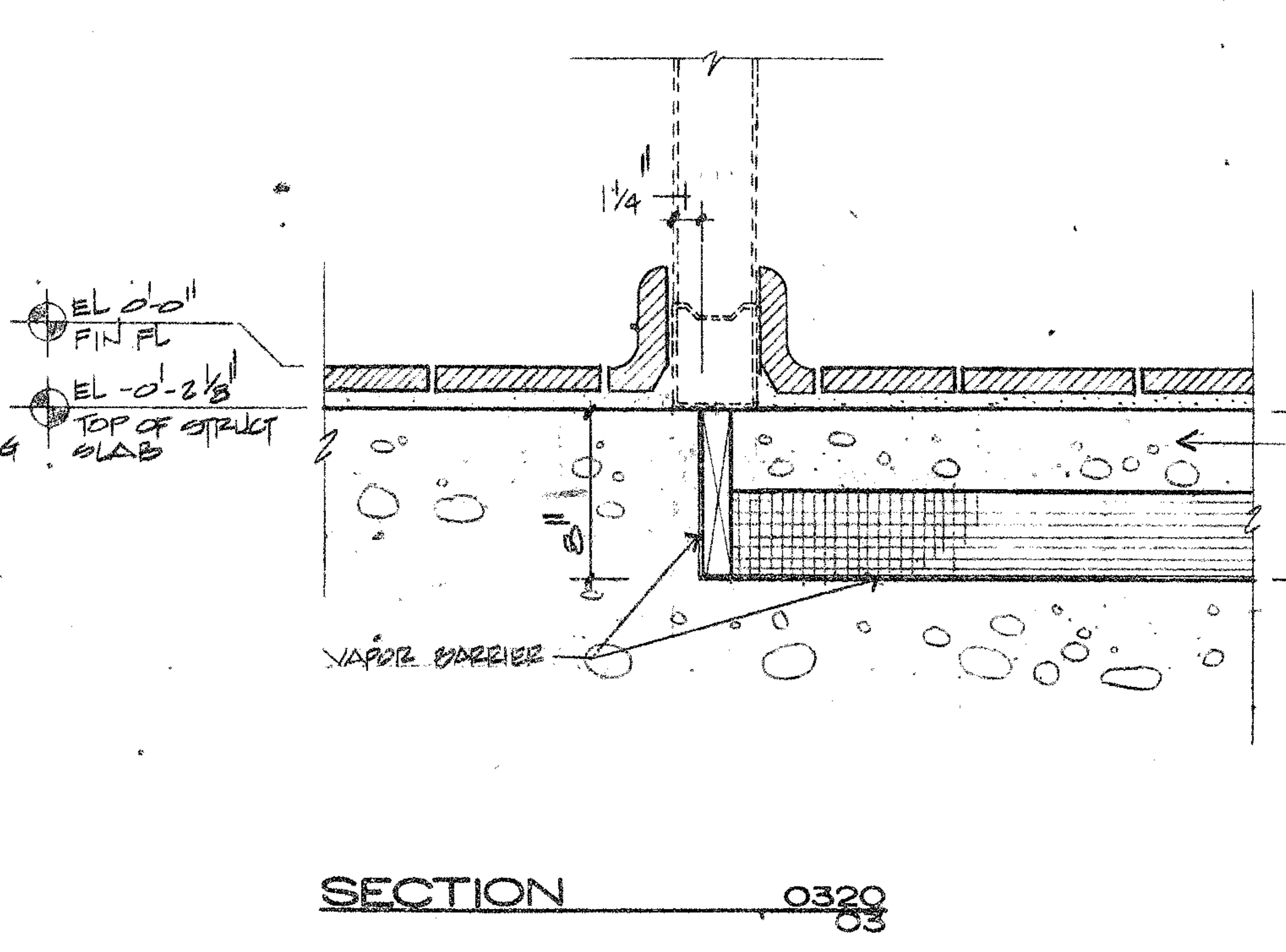
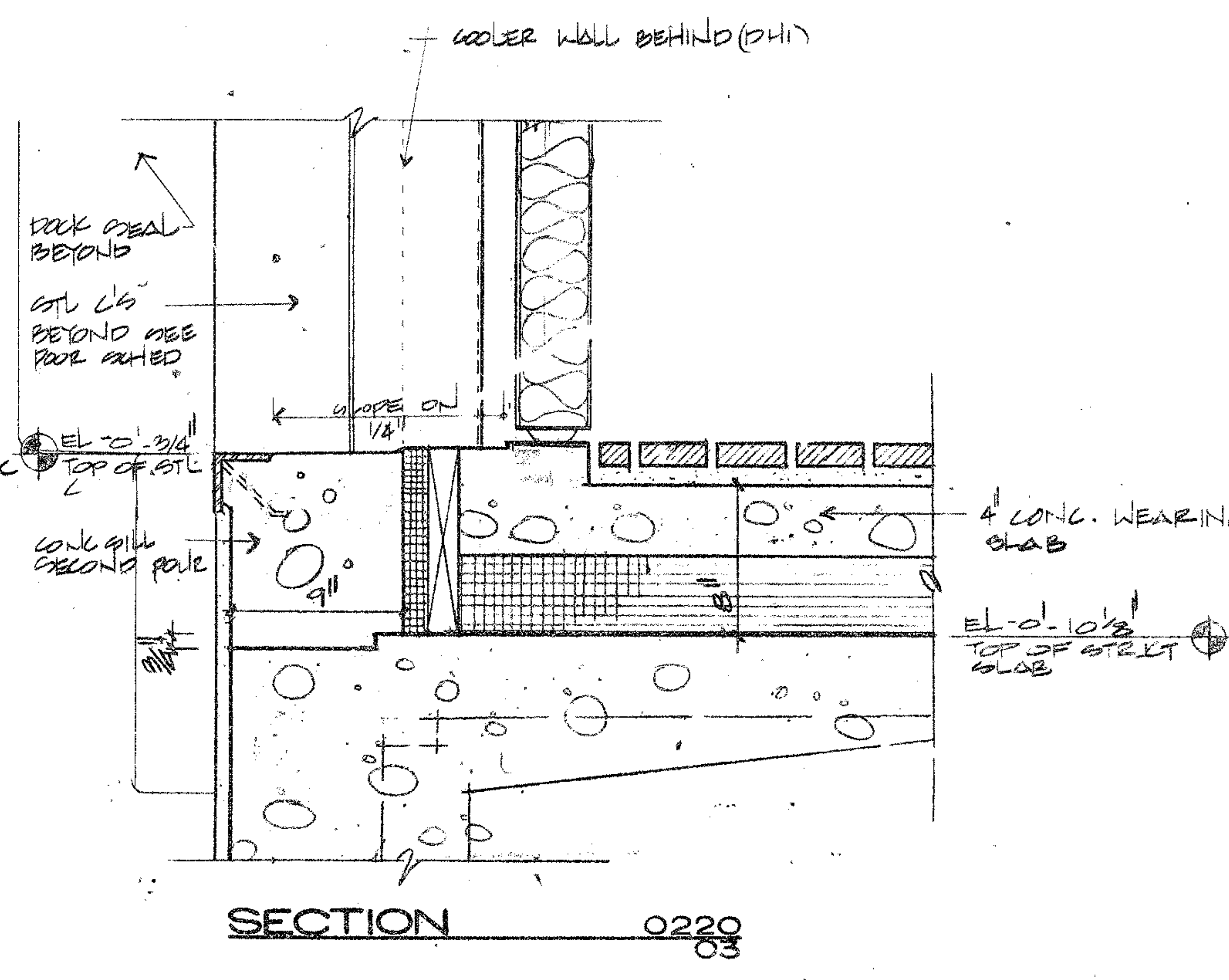
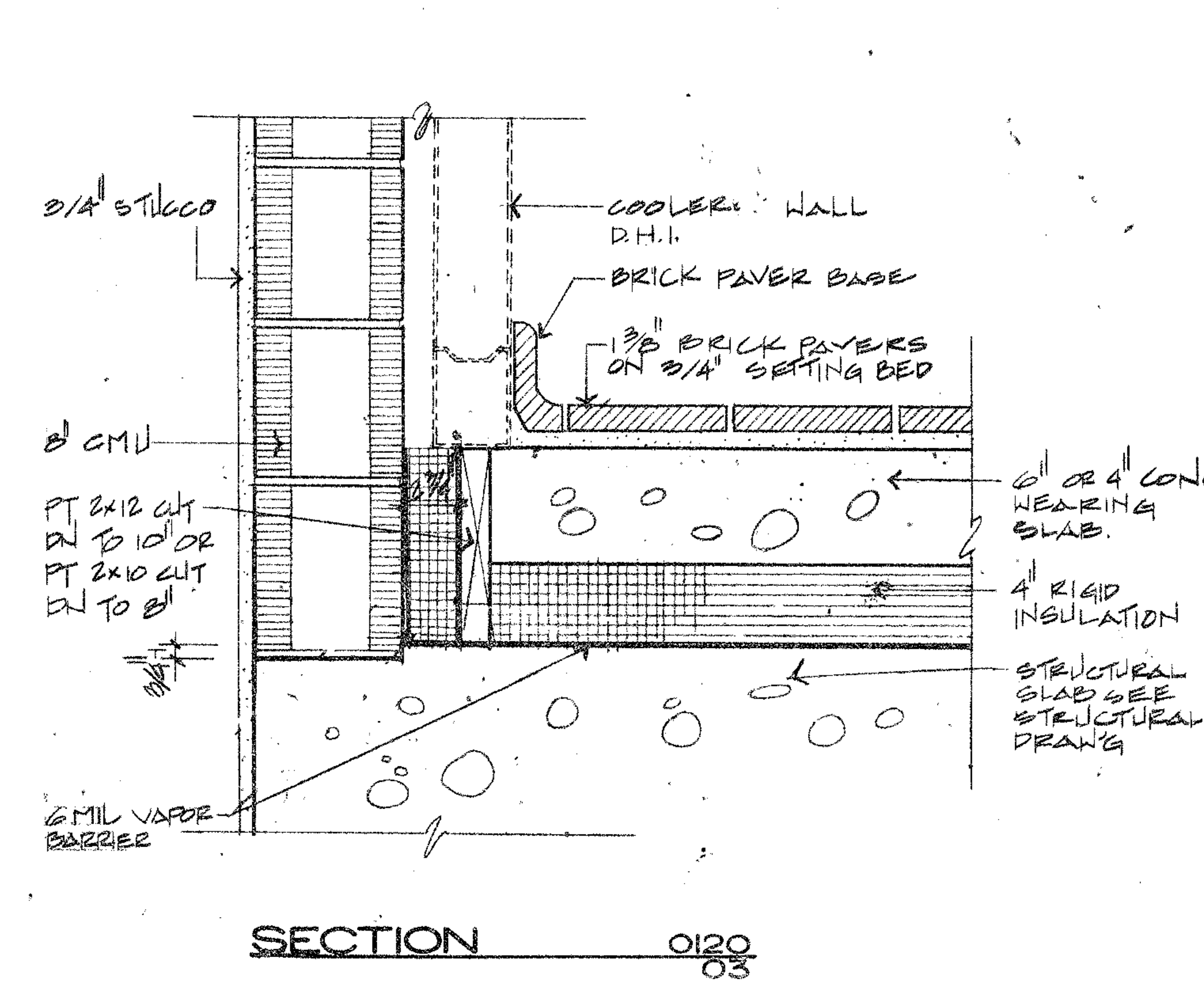
TINNEY-RUIZ & PARTNERS, P.A.
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COMMISSARY FOR:
DOBBS HOUSES INC.
AT
BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

Table with columns for CLIENT, DATE, and JOB NO. Includes fields for APPROVED, ISSUED, and BIDDING.

SITE DETAILS
BENCH DETAIL
FENCE SECTION
DRAWING NO. A19 OF 24

NO.	DATE	APPROVISIONS



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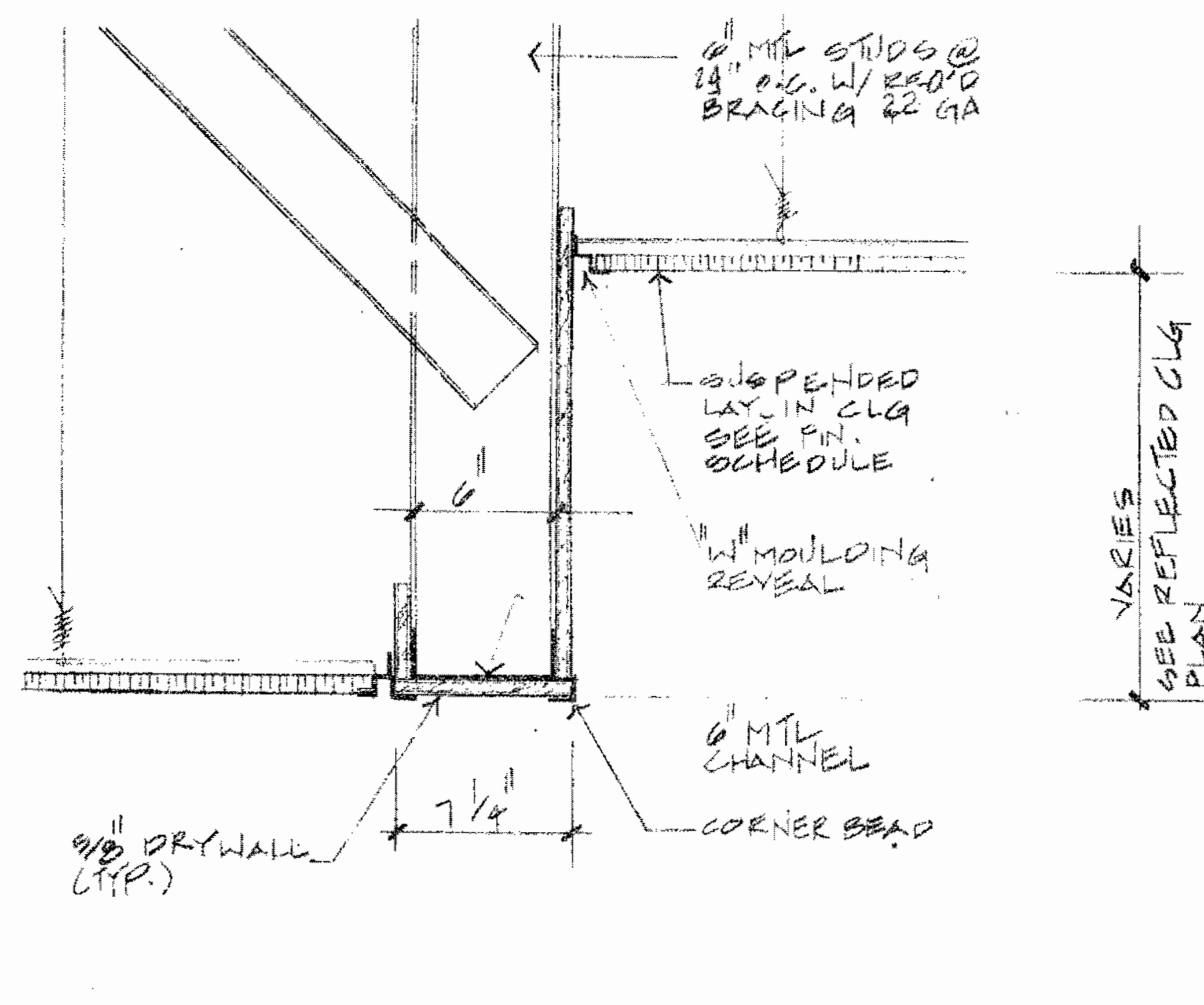
COMMISSARY FOR:
 DOBBS HOUSES INC.
 AT
 BUILDING 3074
 MIAMI INTERNATIONAL AIRPORT

CLIENT APPRO	DATE	DATE
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DDT	APPROVED	ISSUED
85-23	85-23	85-23

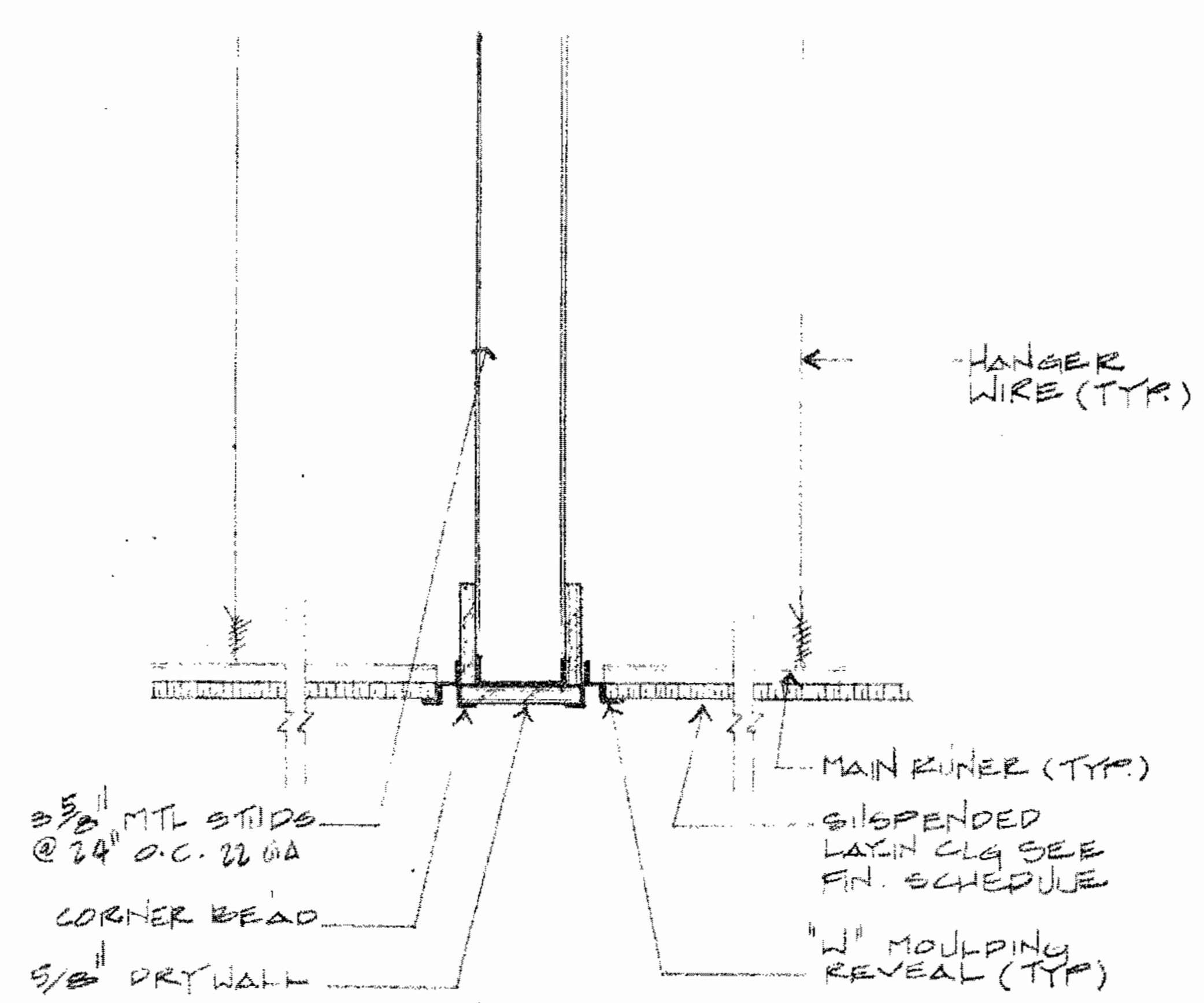
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 CONTRACTOR TO COORDINATE W/ KITCHEN CONTRACTOR
 FOR STRUCTURAL SLAB DEPRESSION LOCATIONS
 PRIOR TO POURING STRUCTURAL SLAB

INSULATED FLOOR DETAILS
 SCALE 1 1/2" = 1'-0"
 NOTES SIMILAR TO SECTION 0120

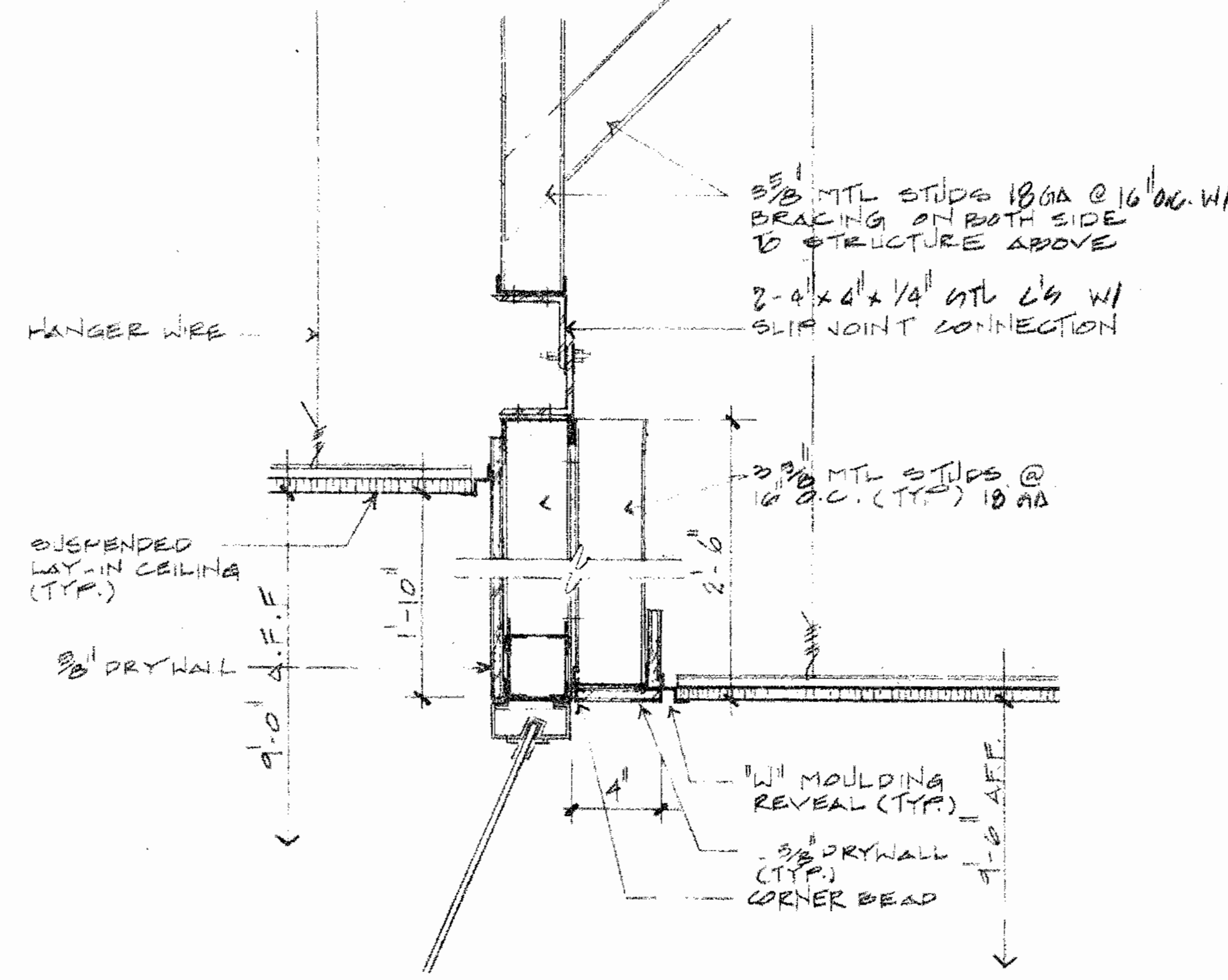
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DETAILS
DRAWING NO.
A20 OF 24



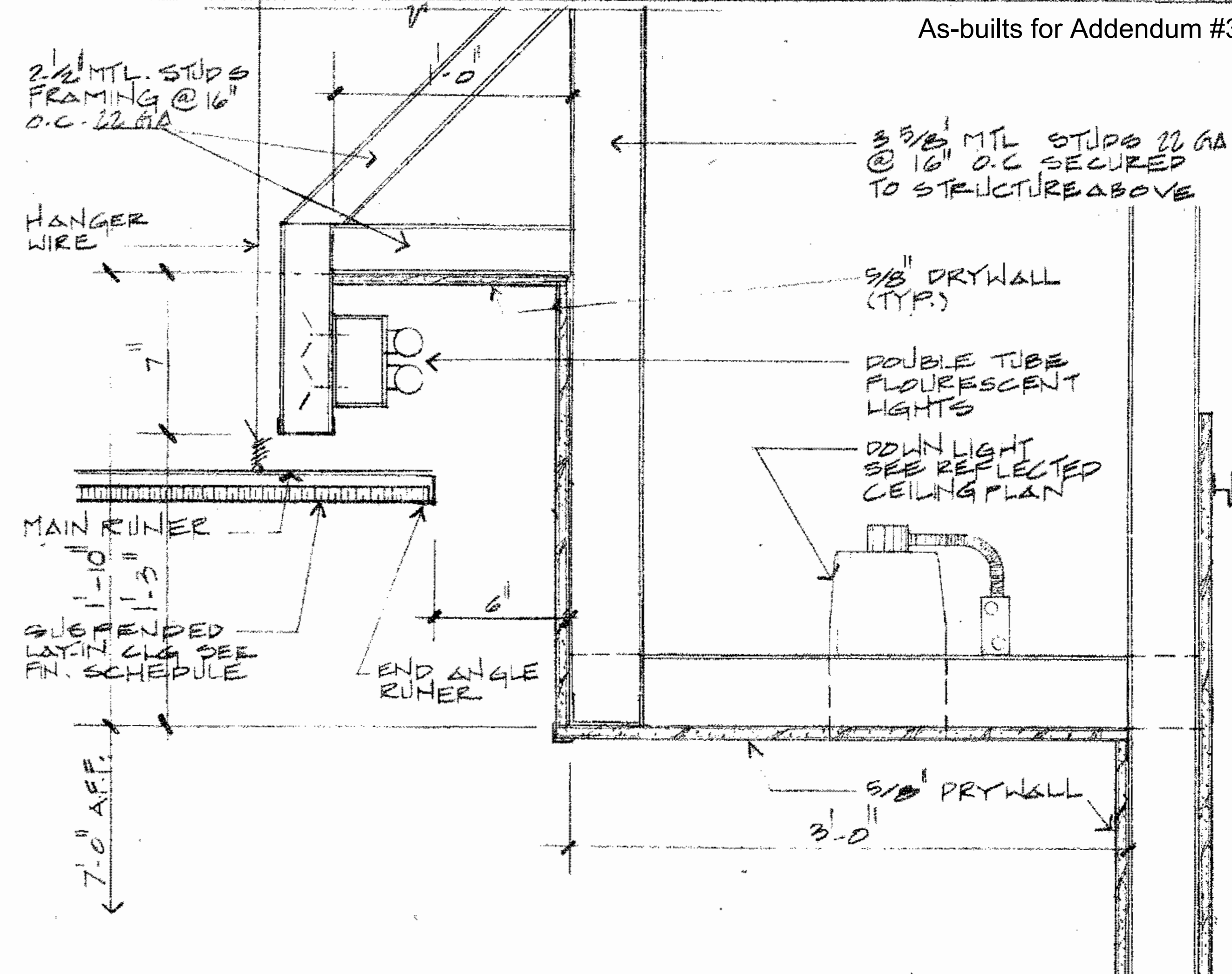
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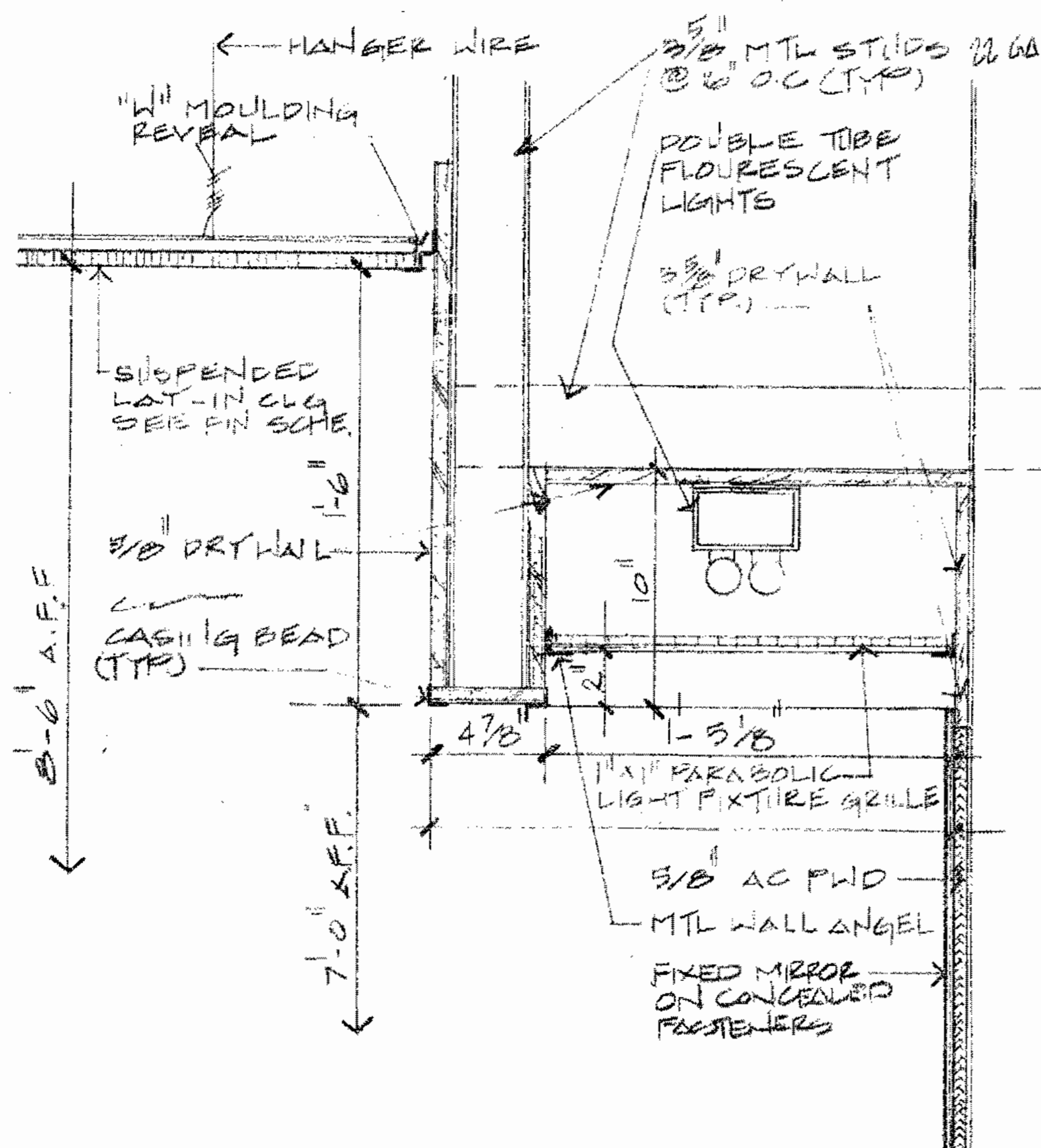
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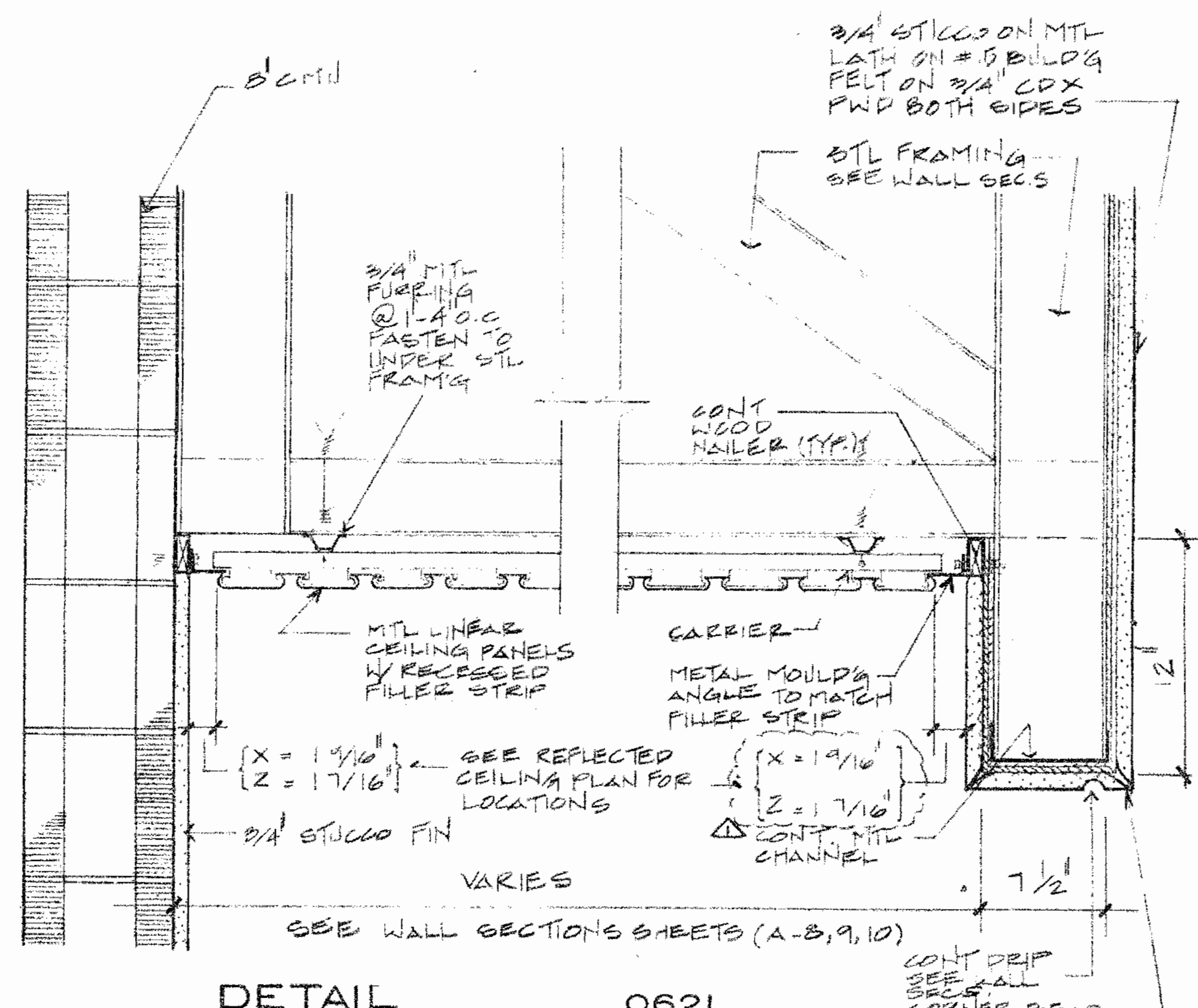
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DETAIL 0421
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DETAIL 0521
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DETAIL 0621
04

As-builts for Addendum #3

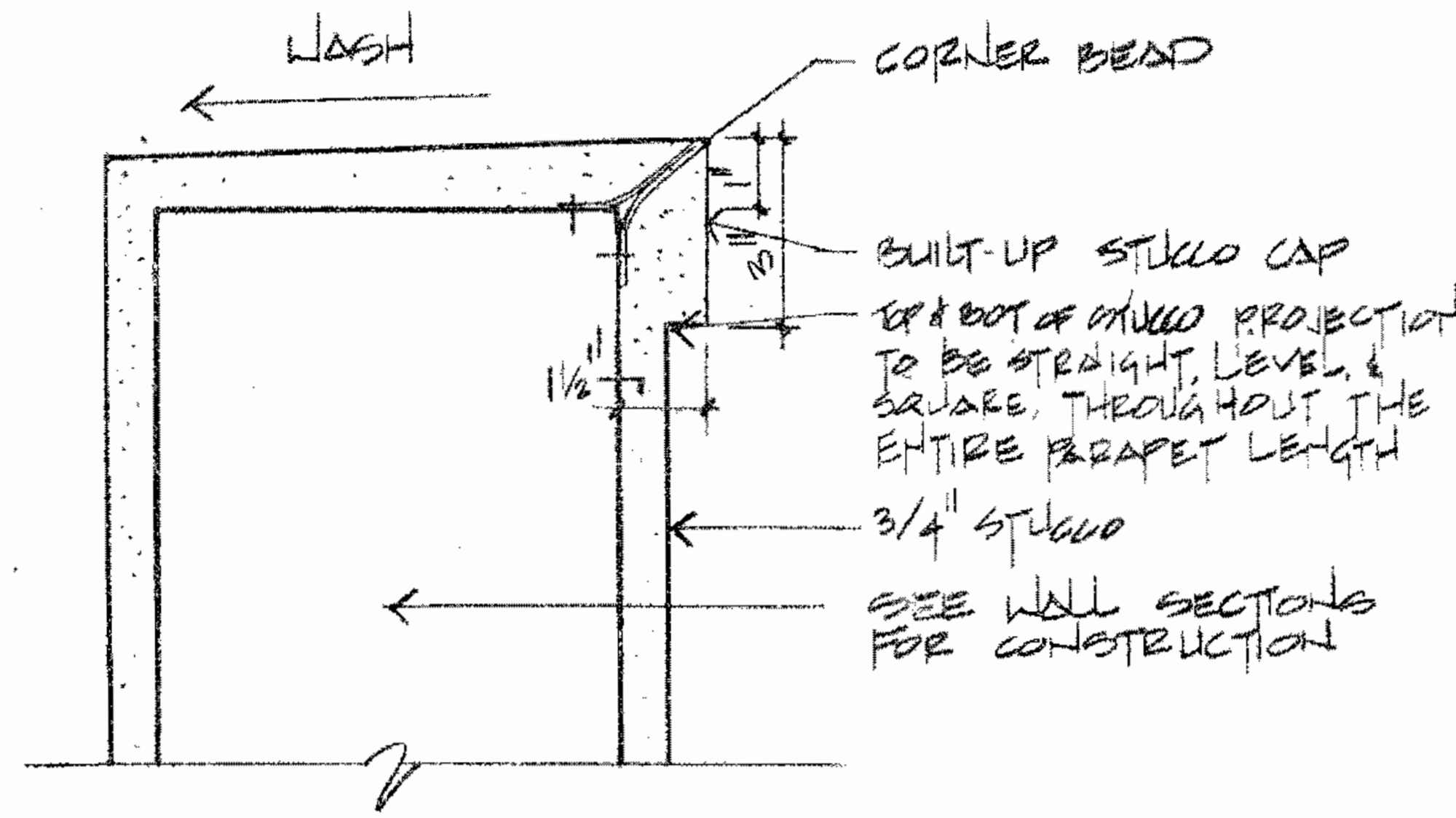
NO.	DATE	APPROVED	REVISIONS

TINNEY RUIZ & PARTNERS, P.A.
 Architecture • Planning • Interior Design
 3692 SW 24th ST. MIAMI, FLORIDA 33145. Telephone (305)-141-0288.

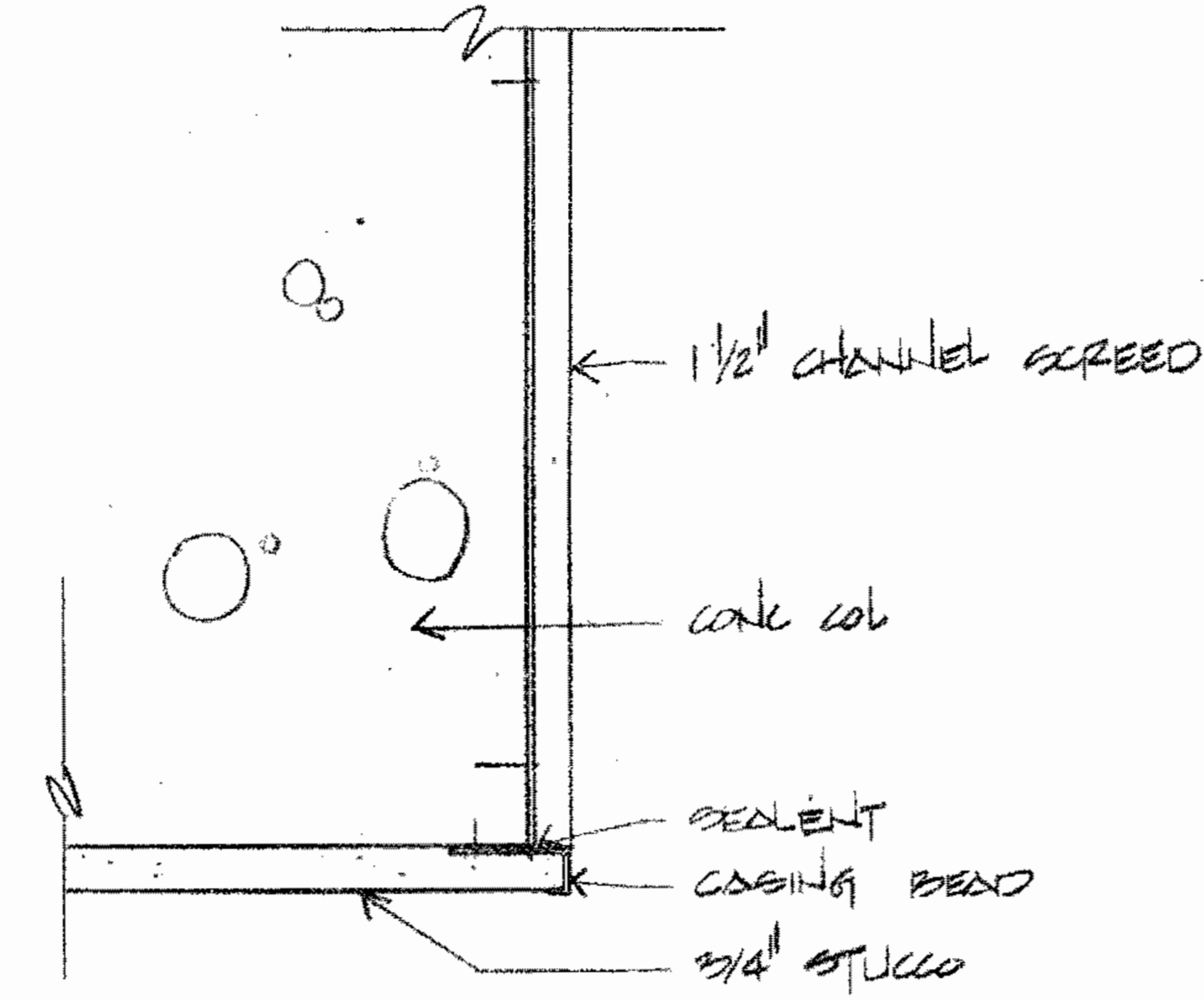
COMMISSARY FOR:
DOBBS HOUSES INC.
 AT
 BUILDING 3074
 MIAMI INTERNATIONAL AIRPORT

CLIENT APPROV	DATE	ISS/TA/FC	DATE	DRAWN	DATE	DOT	DATE	APPROVED	DATE	BIDDING	DATE	ISSUED	DATE	95-23	JOB NO.

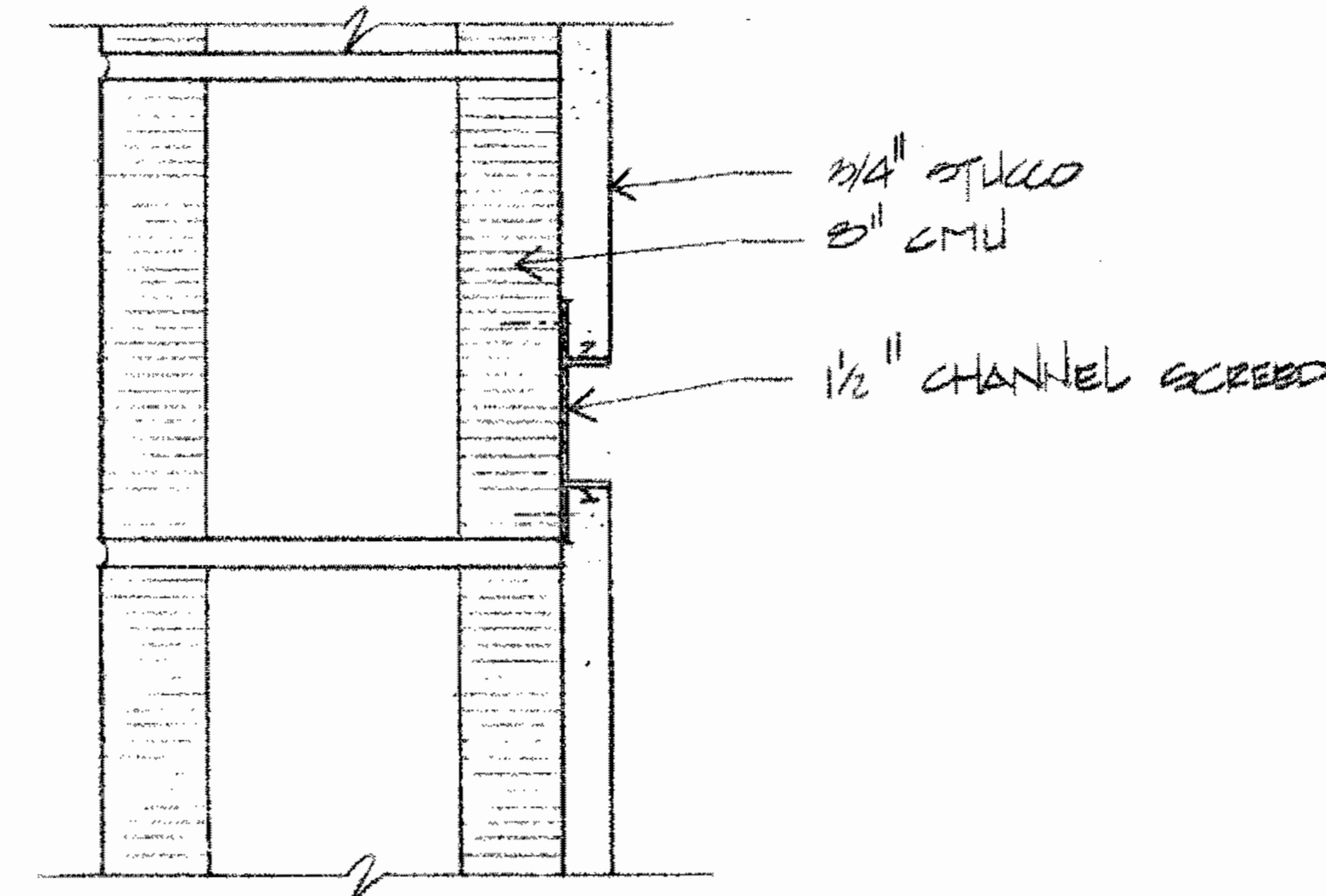
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 DRAWING NO. A21 OF 24



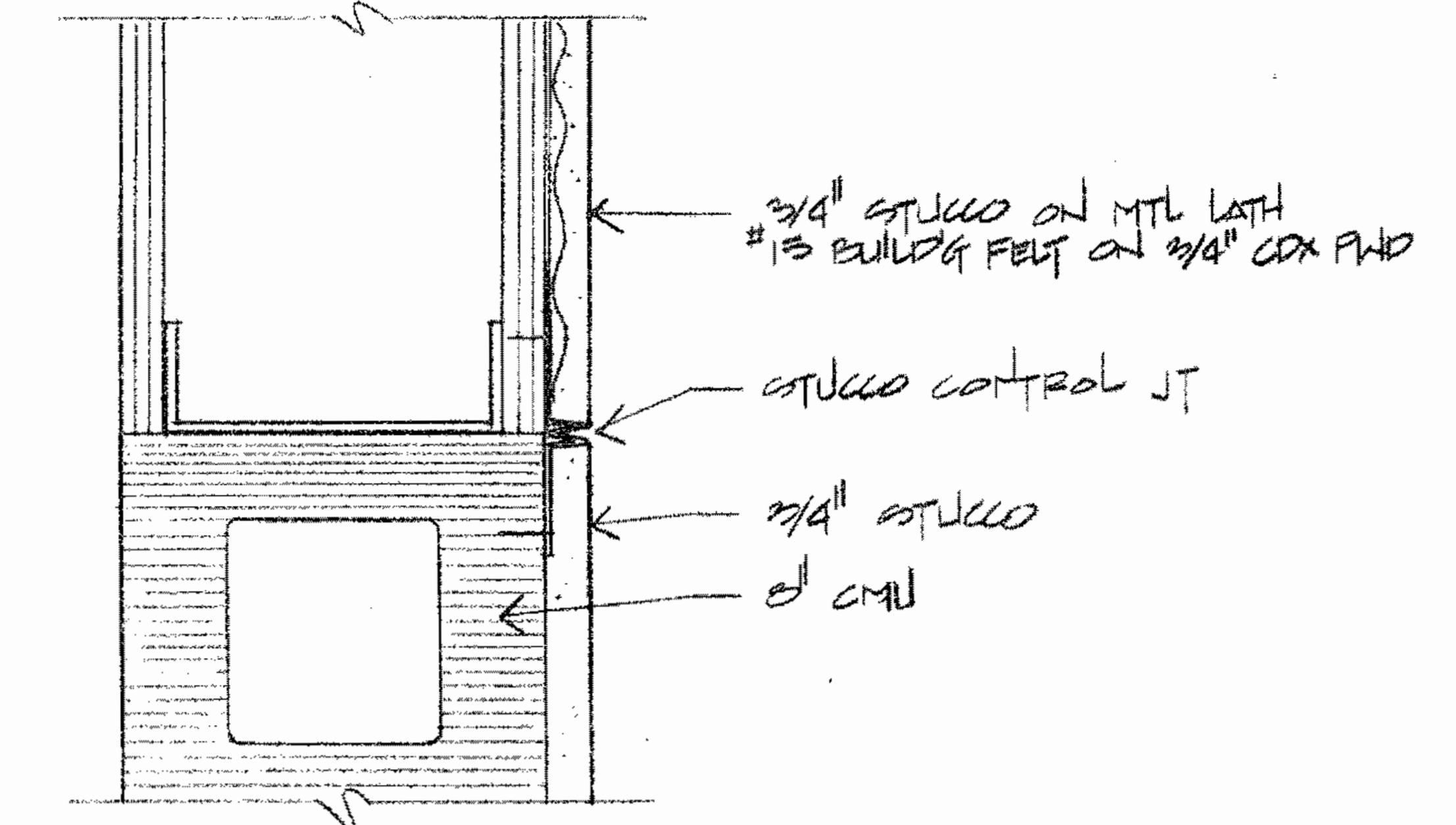
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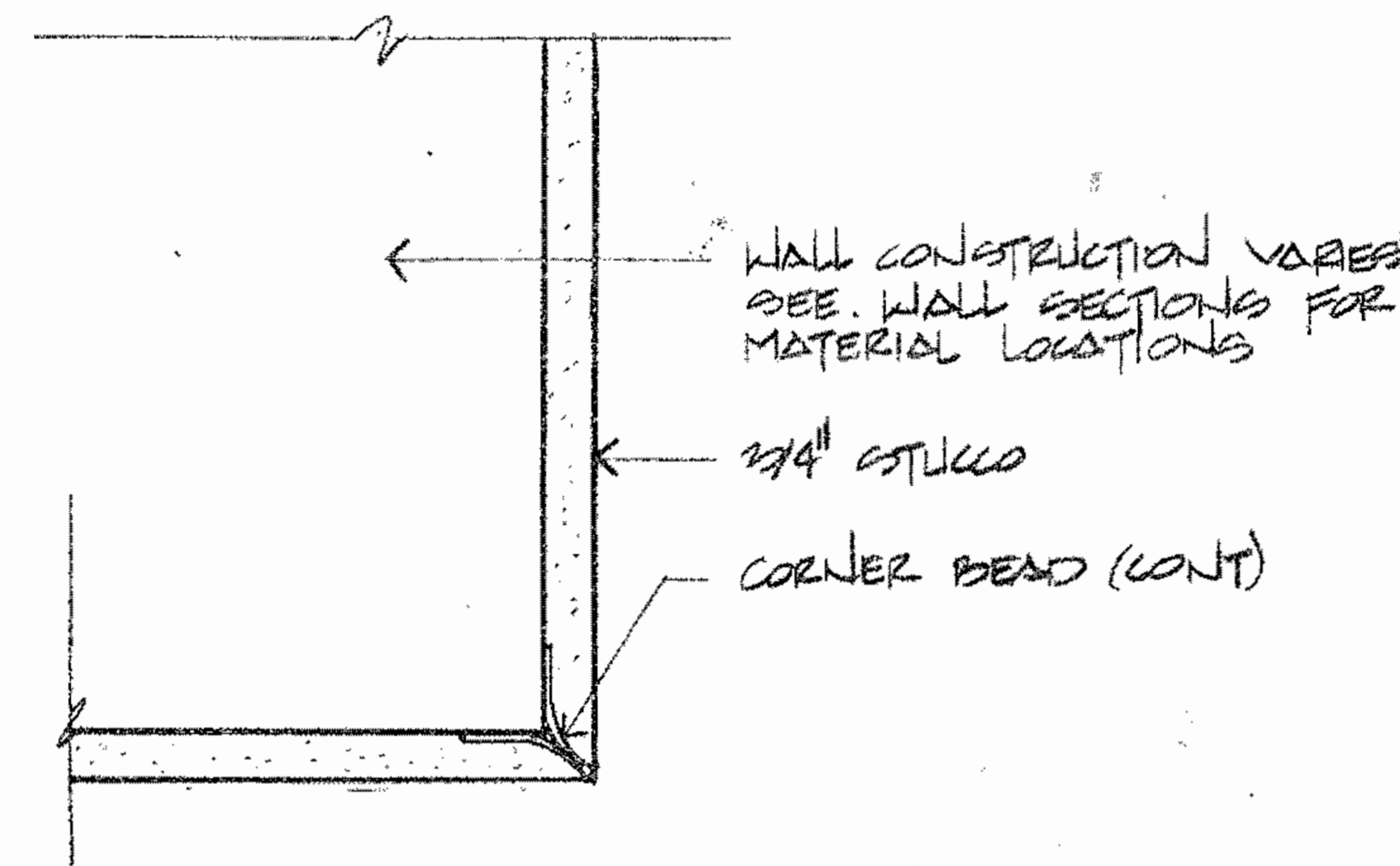
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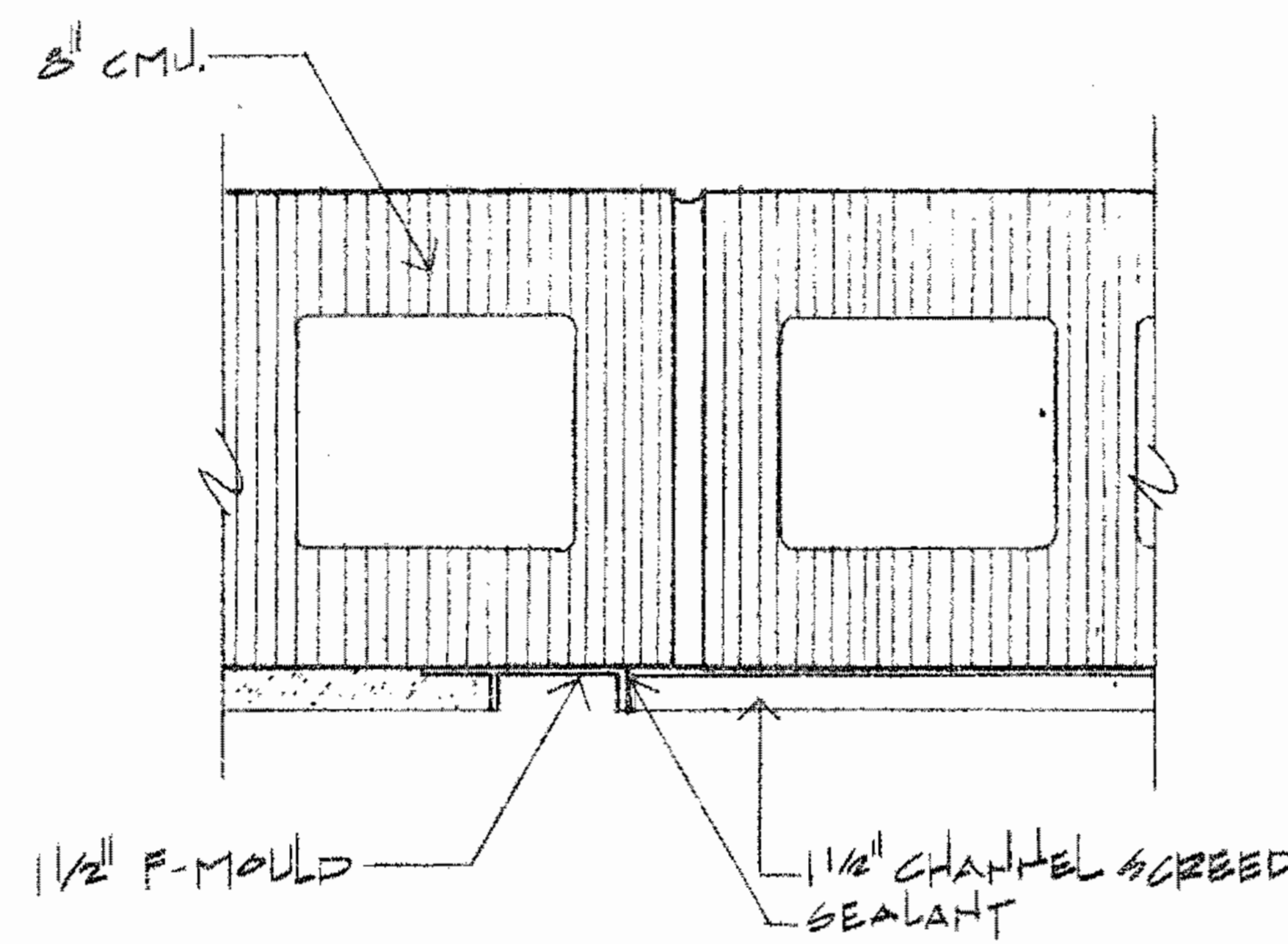
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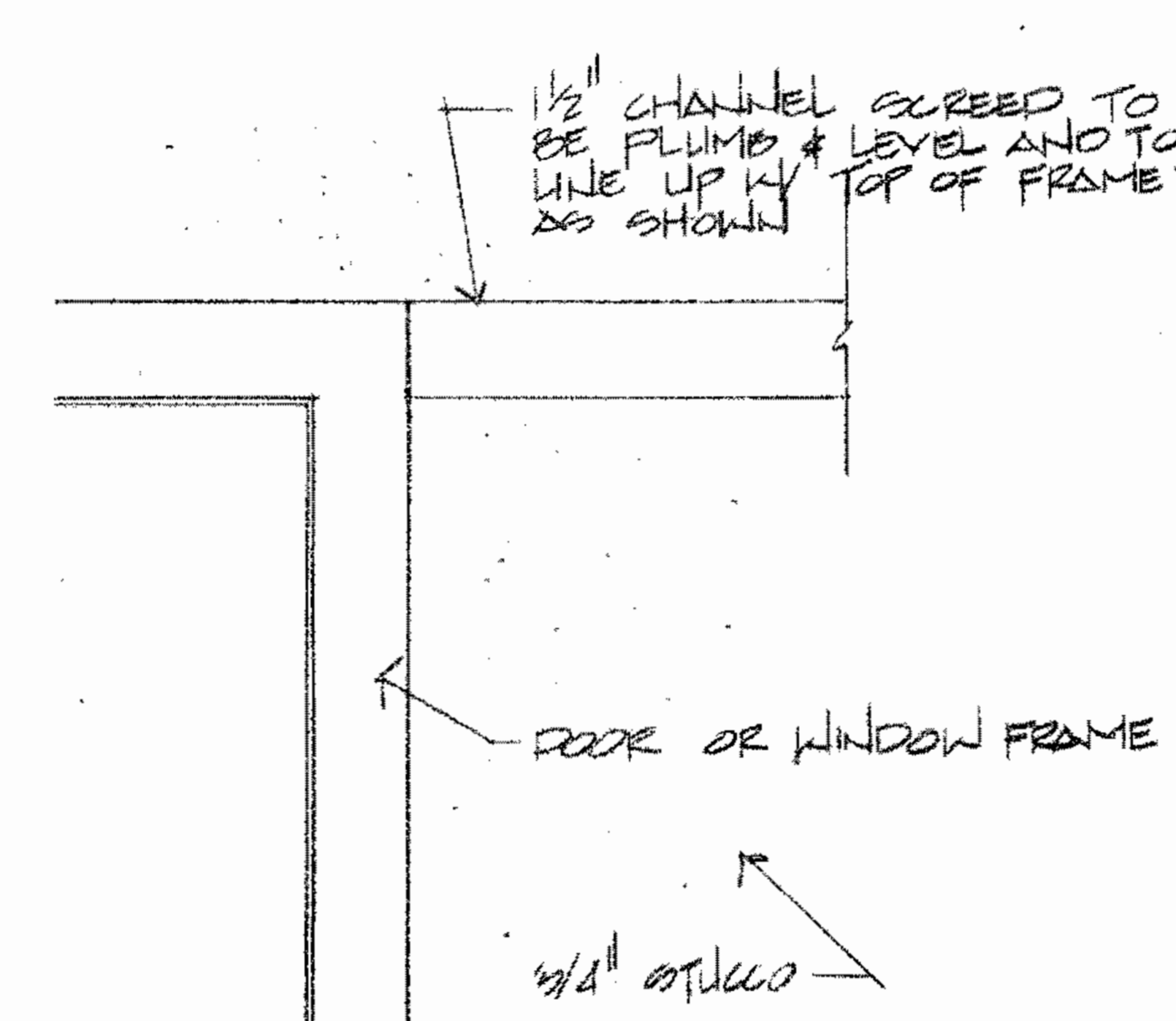
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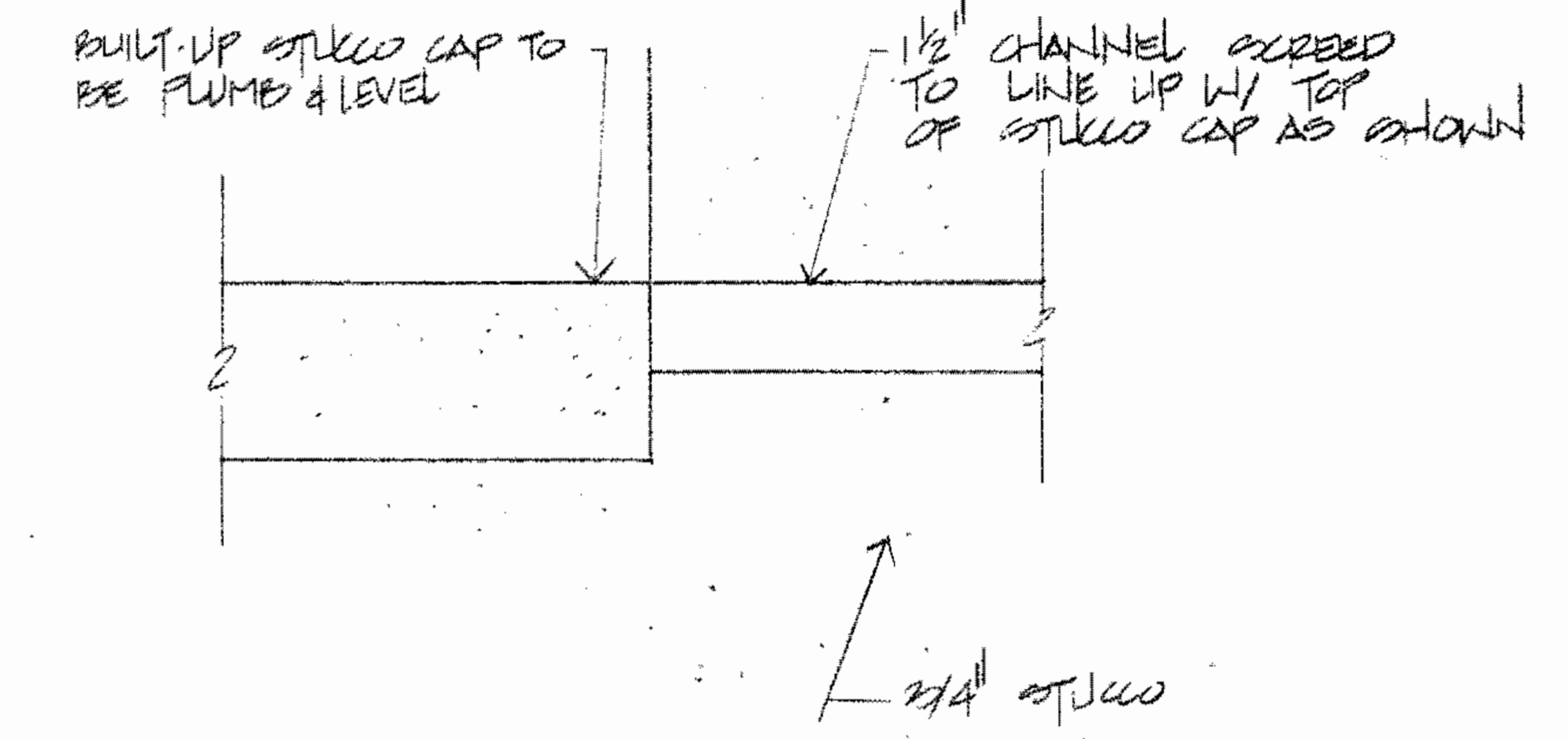
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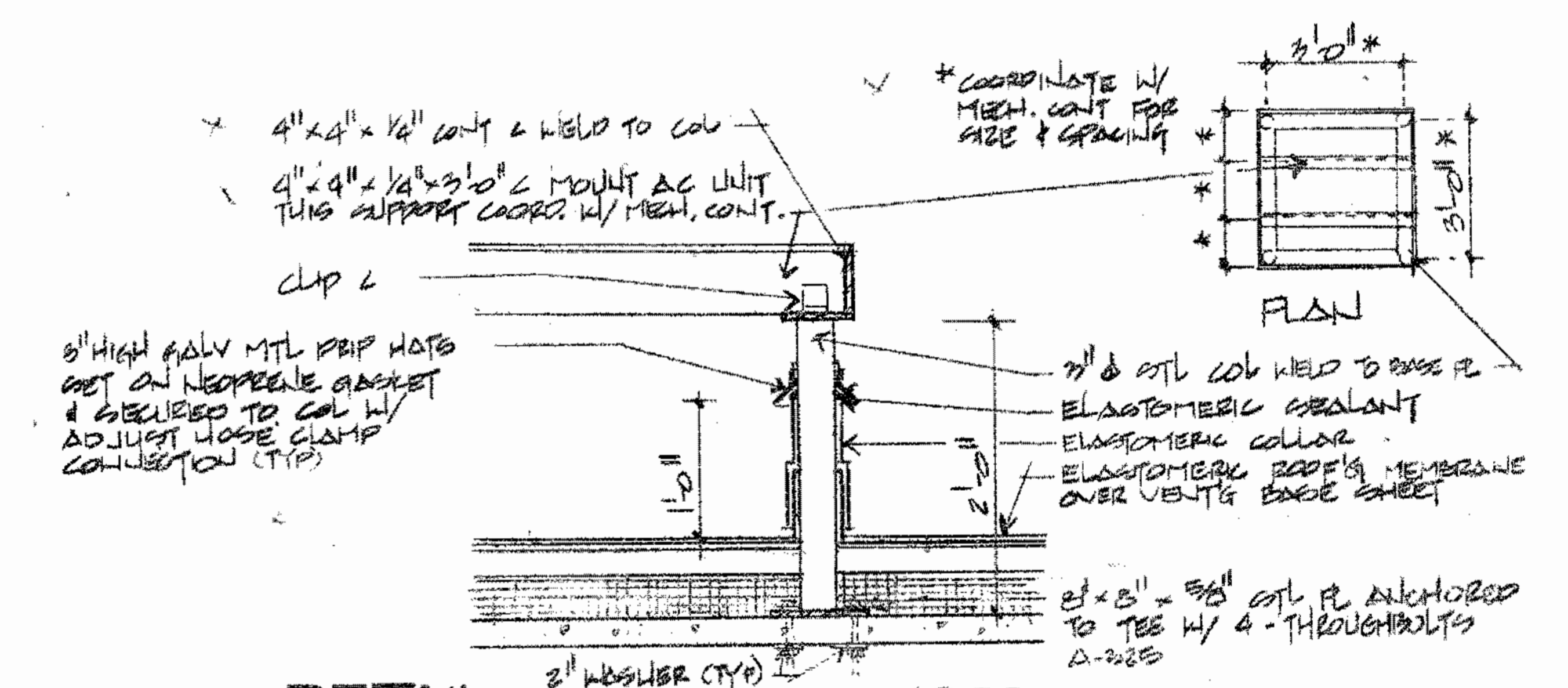
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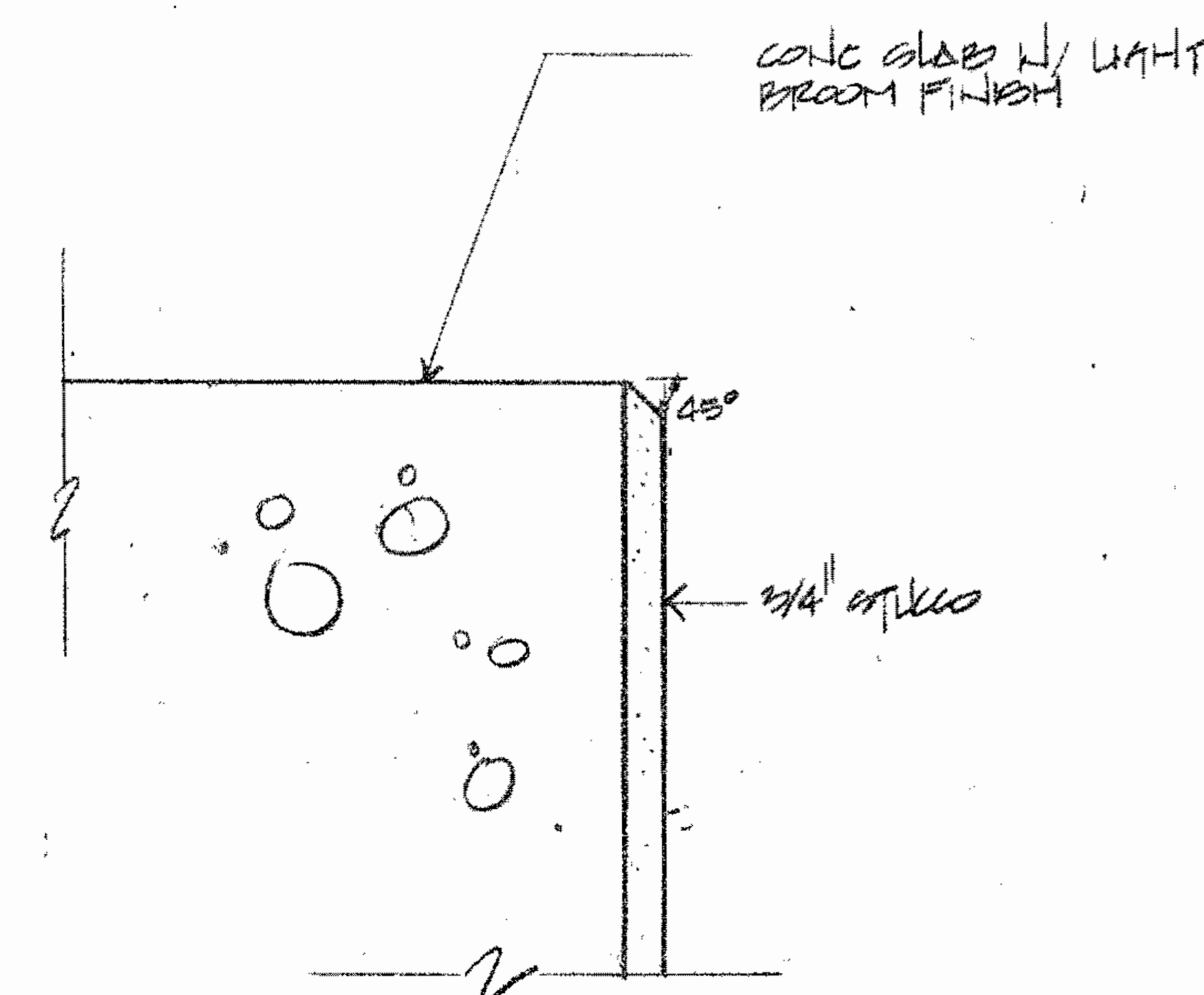
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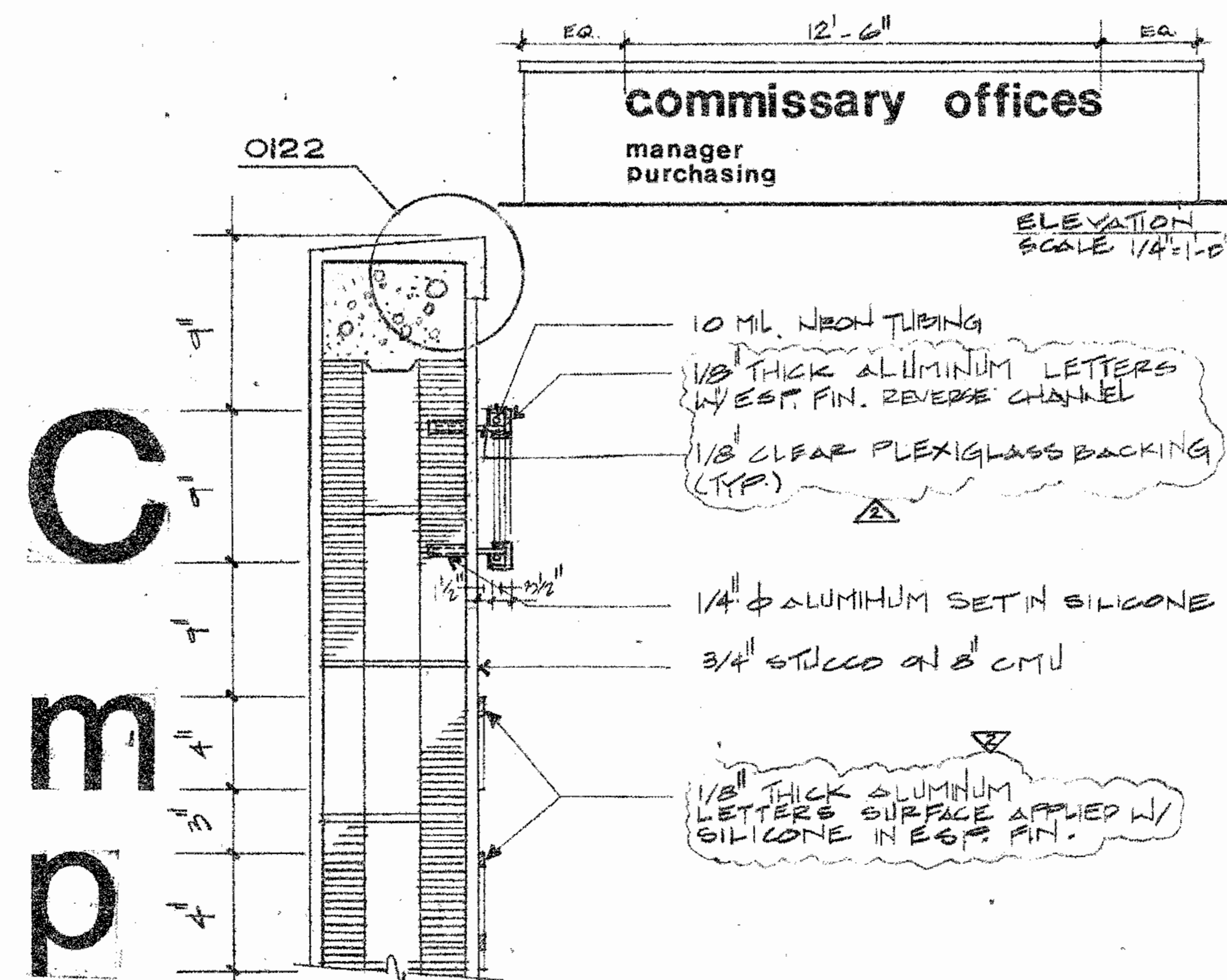
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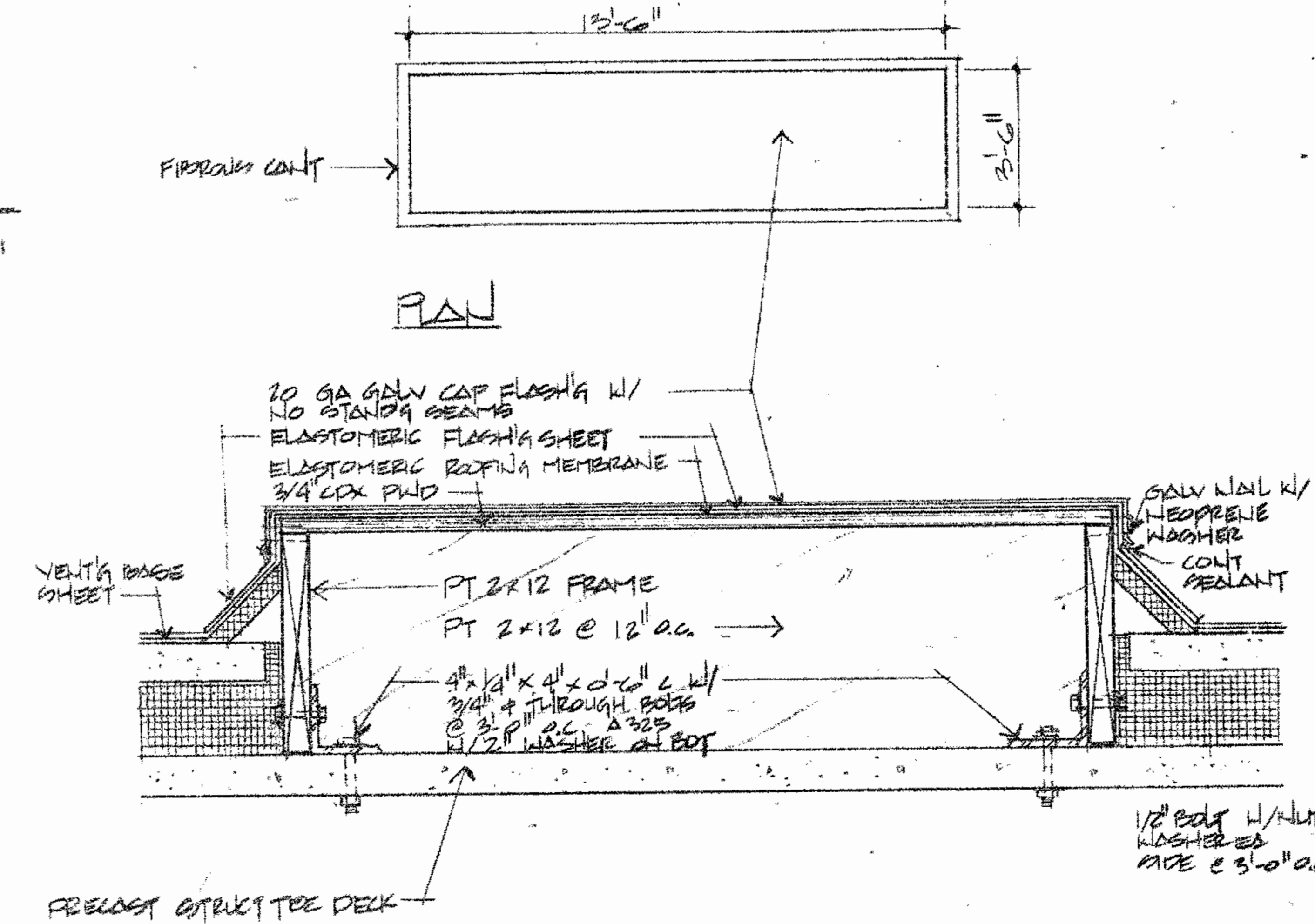
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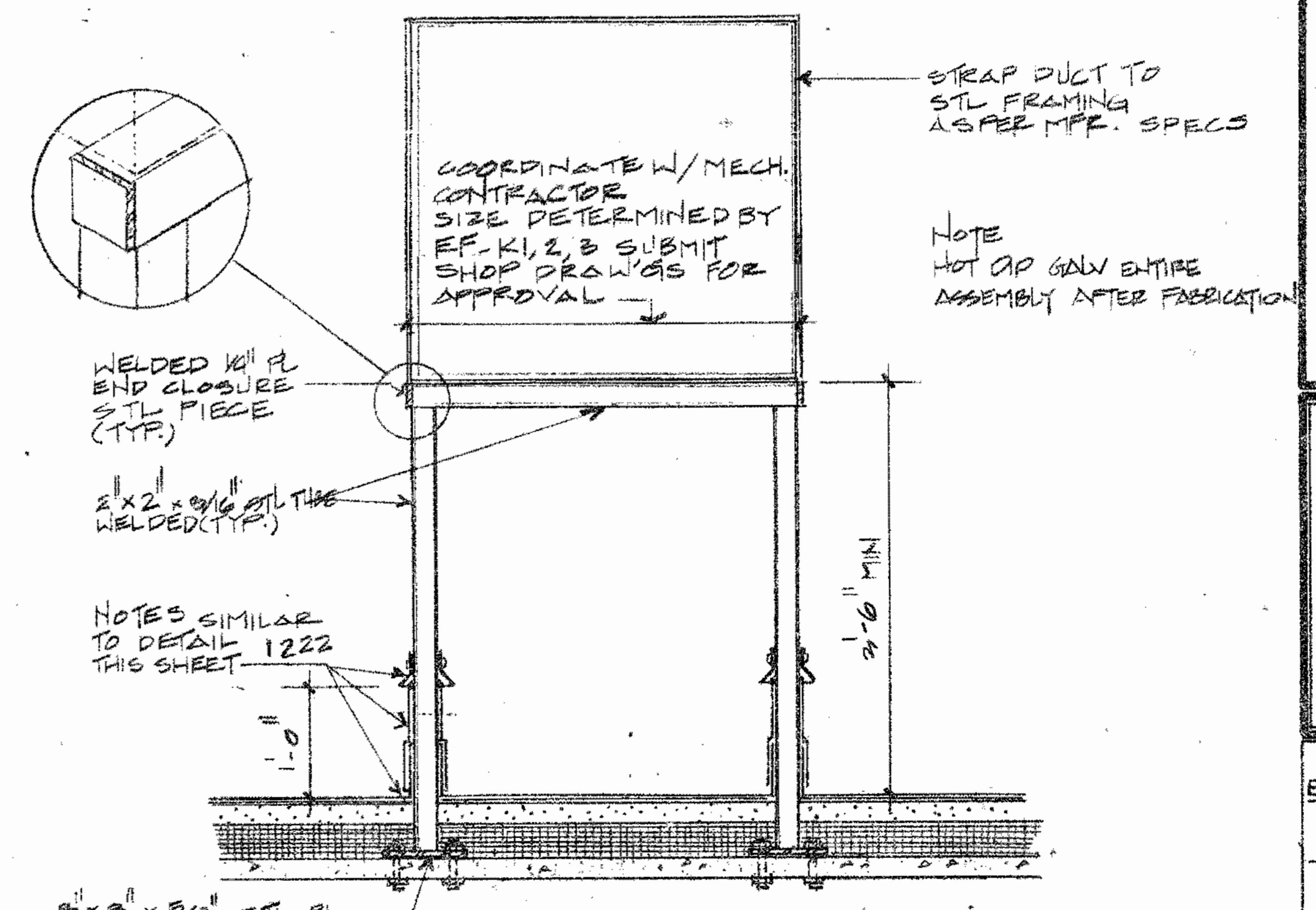
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DETAIL 1022
SCALE 1 1/2" = 1'-0" 07



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ELEVATION DETAILS
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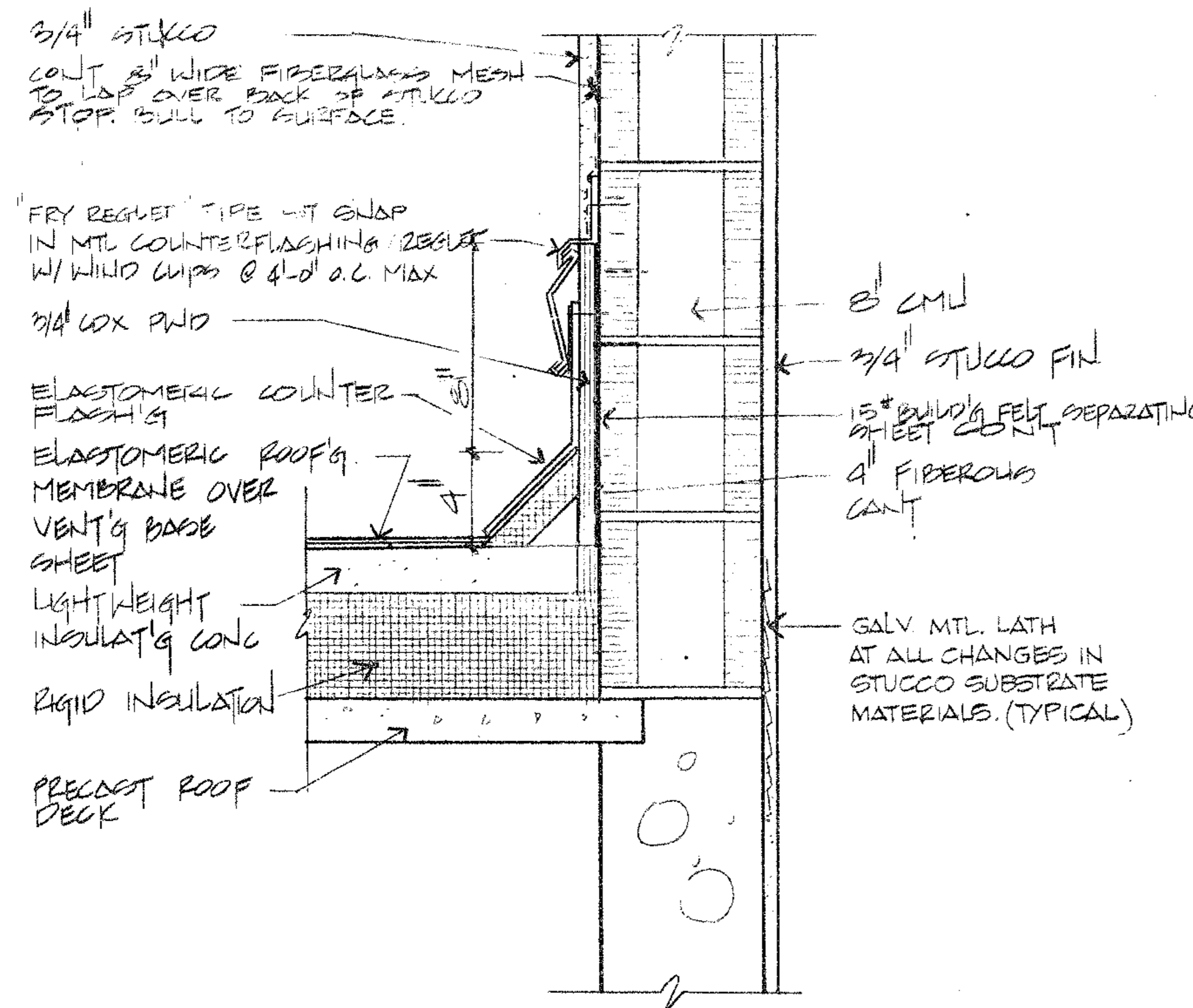
NO.	DATE	APPROVED	REVISIONS

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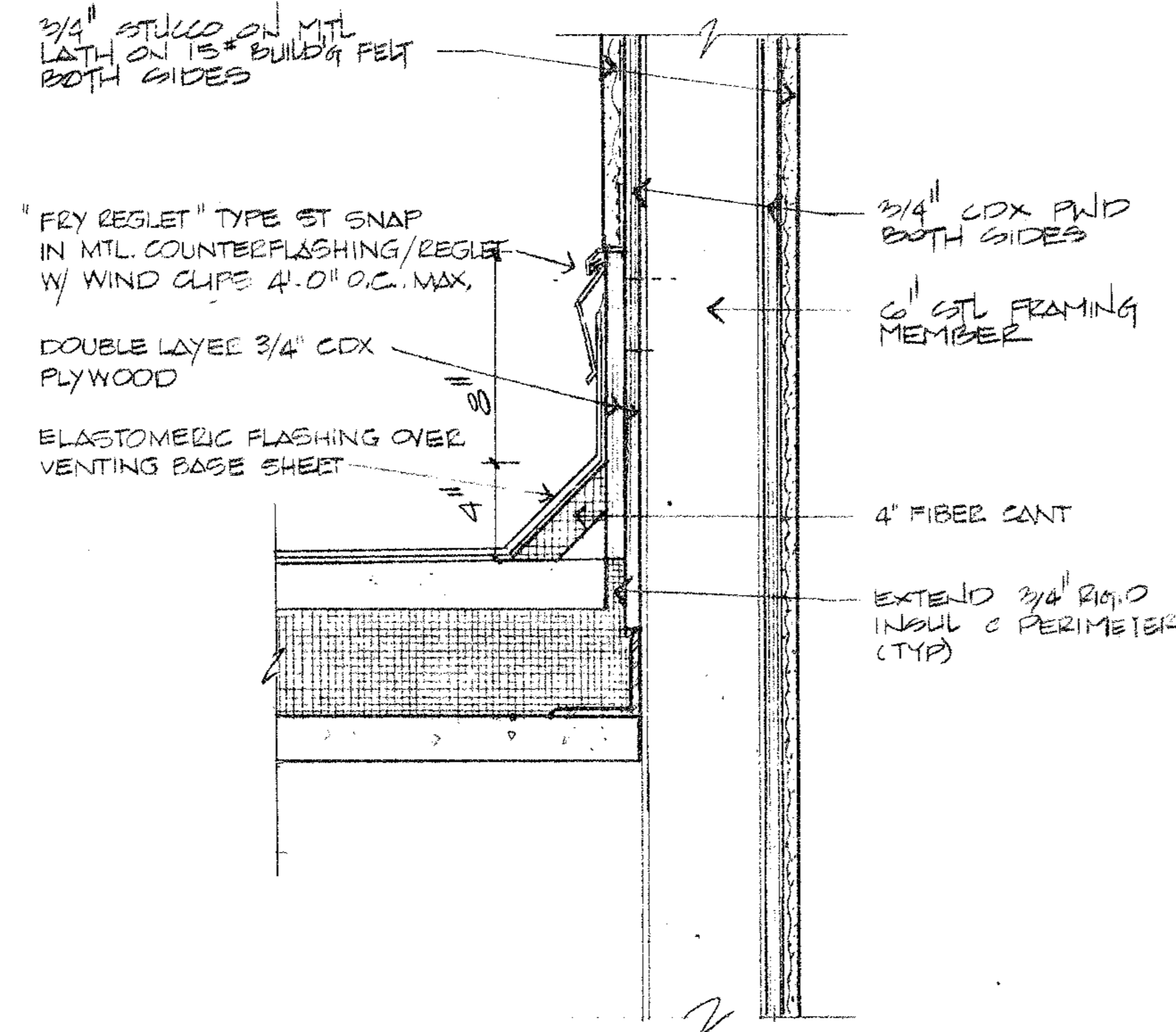
**COMMISSARY FOR:
 DOBBS HOUSES INC.**
 AT
MIAMI INTERNATIONAL AIRPORT
 BUILDING 3074

CLIENT APPROV. DATE	DATE
JGS/TAT/C	DATE
DRW	1-21-85
DOT	DATE
APPROVED	1-21-85
ISSUED	DATE
BIDDING	1-21-85
NOB NO.	85-23

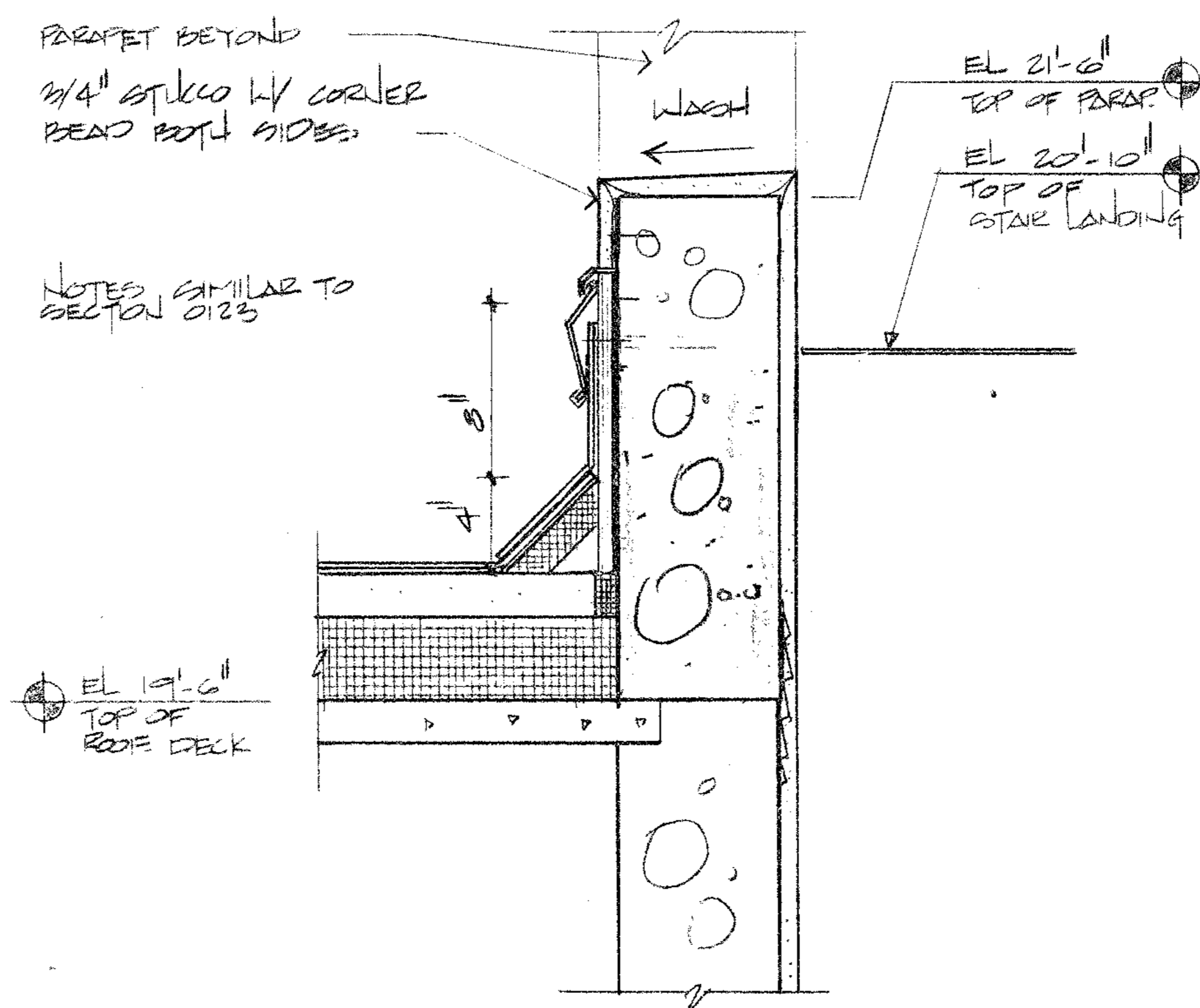
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 DRAWING NO. A22 of 24



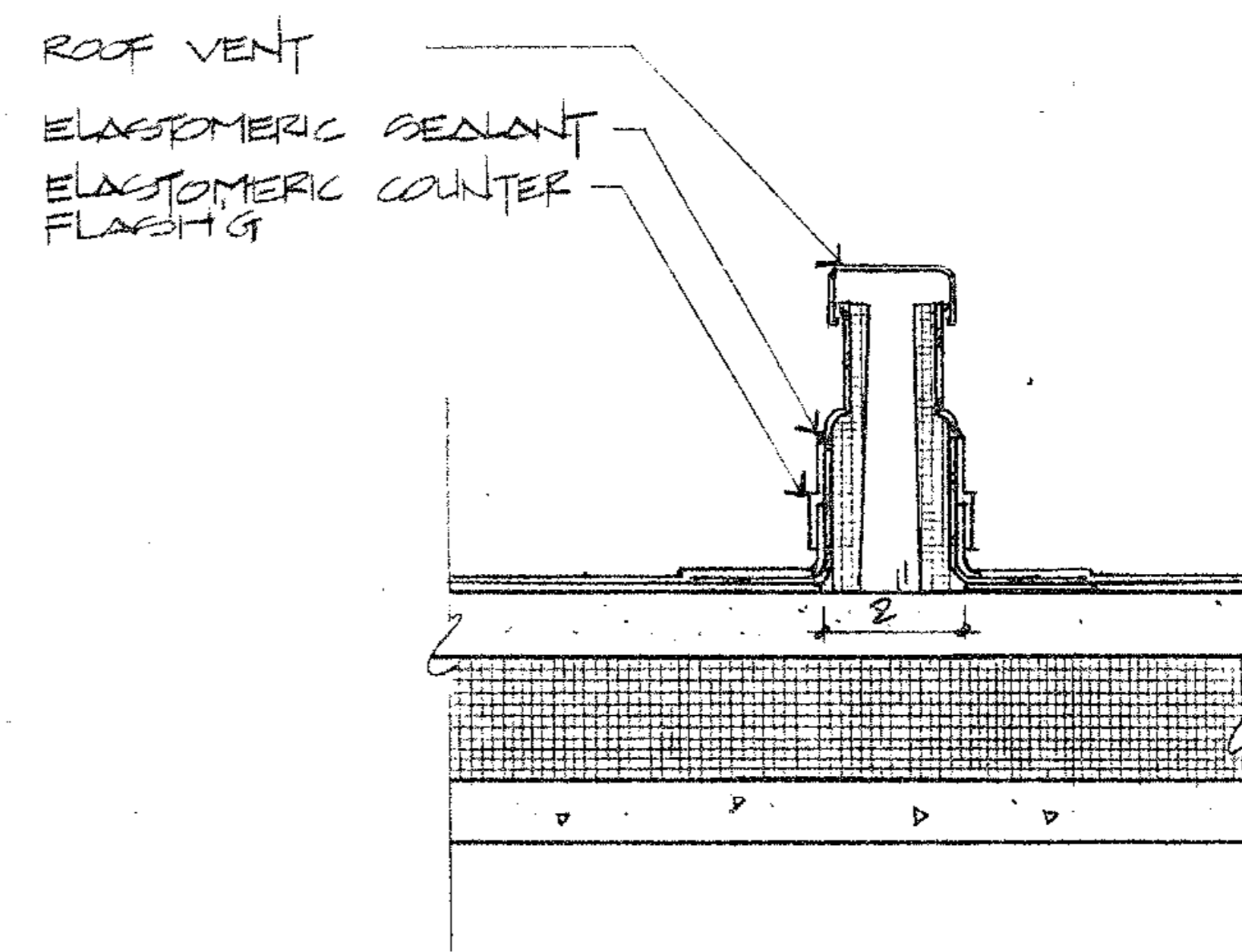
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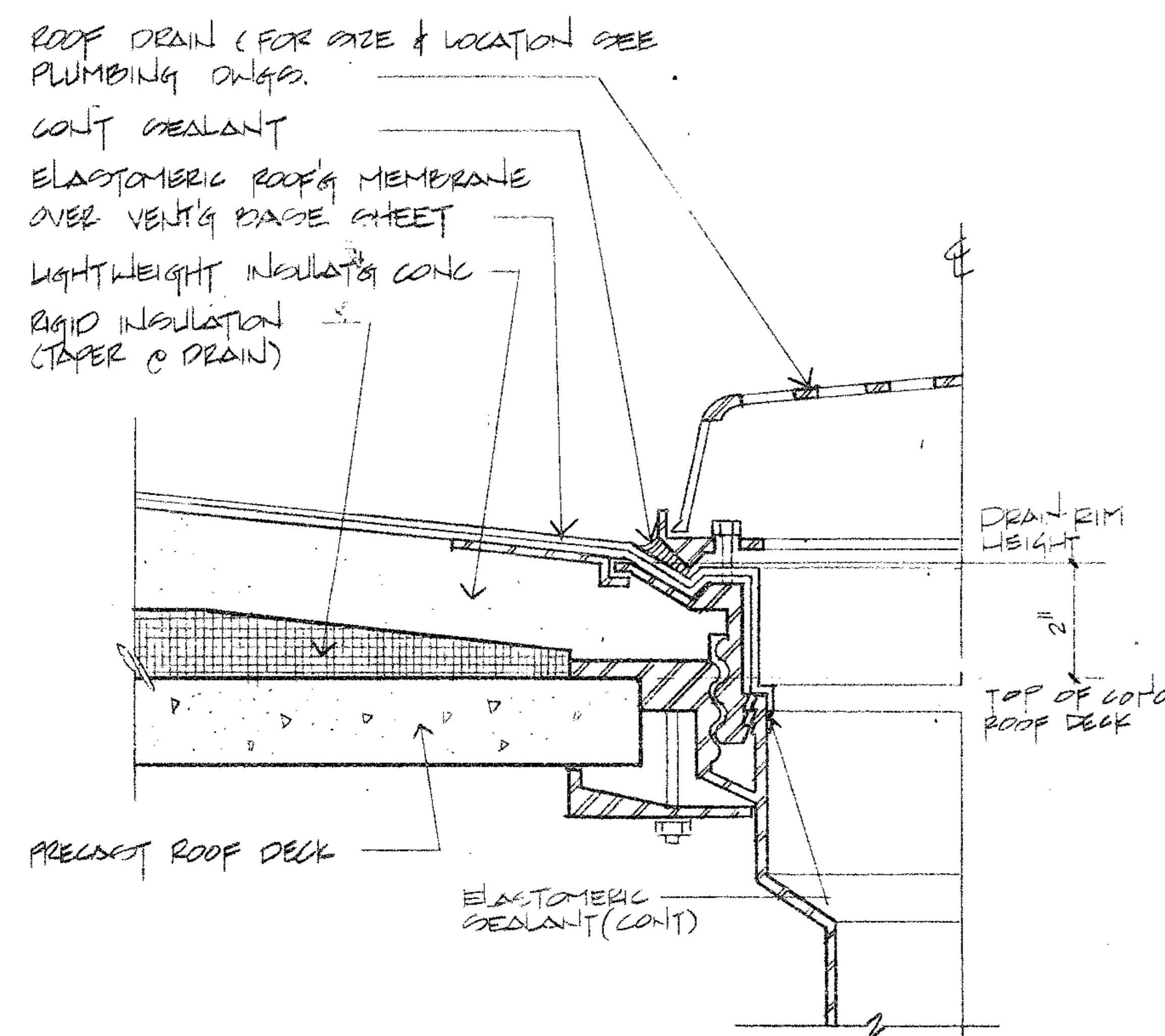
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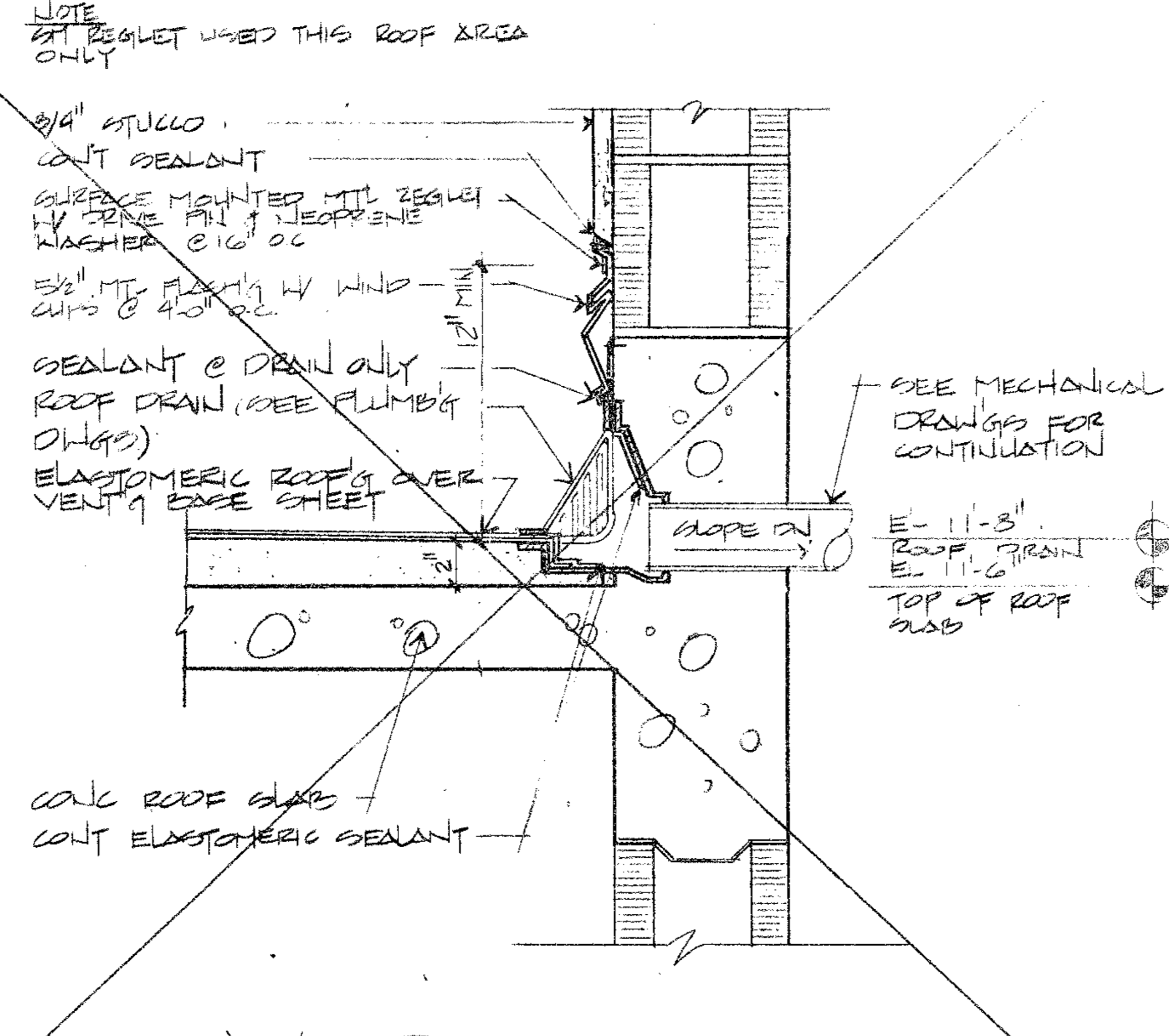
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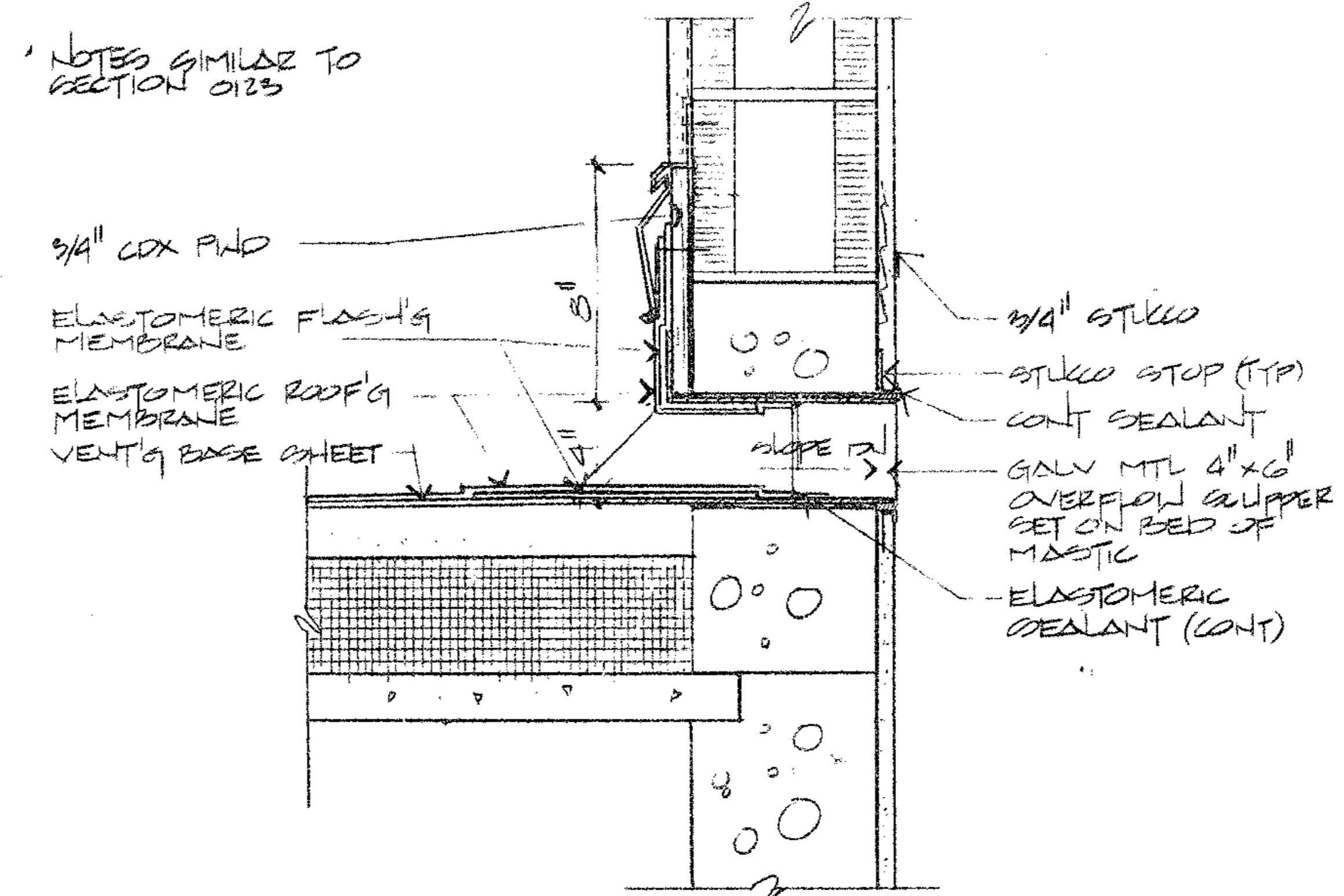
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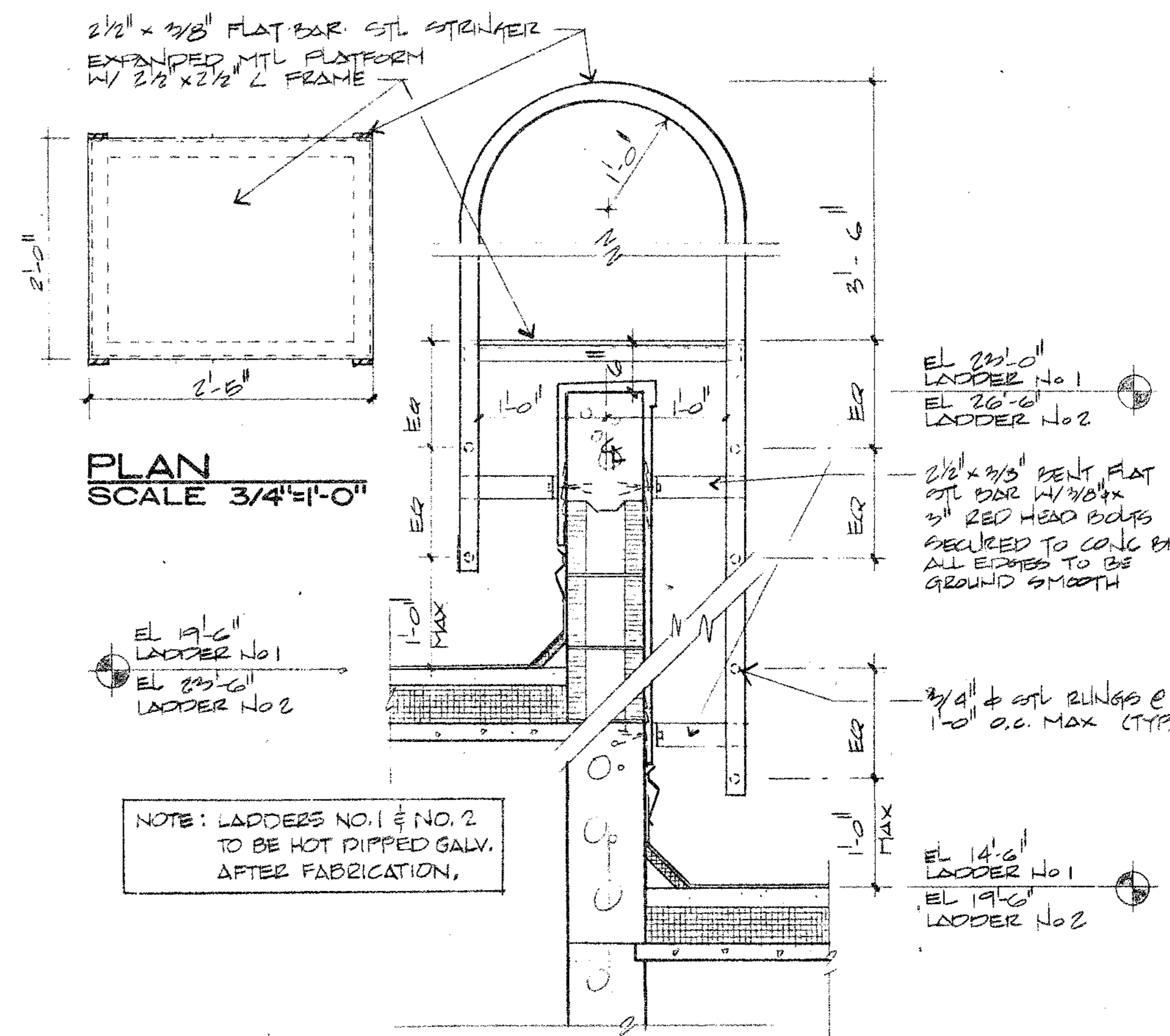
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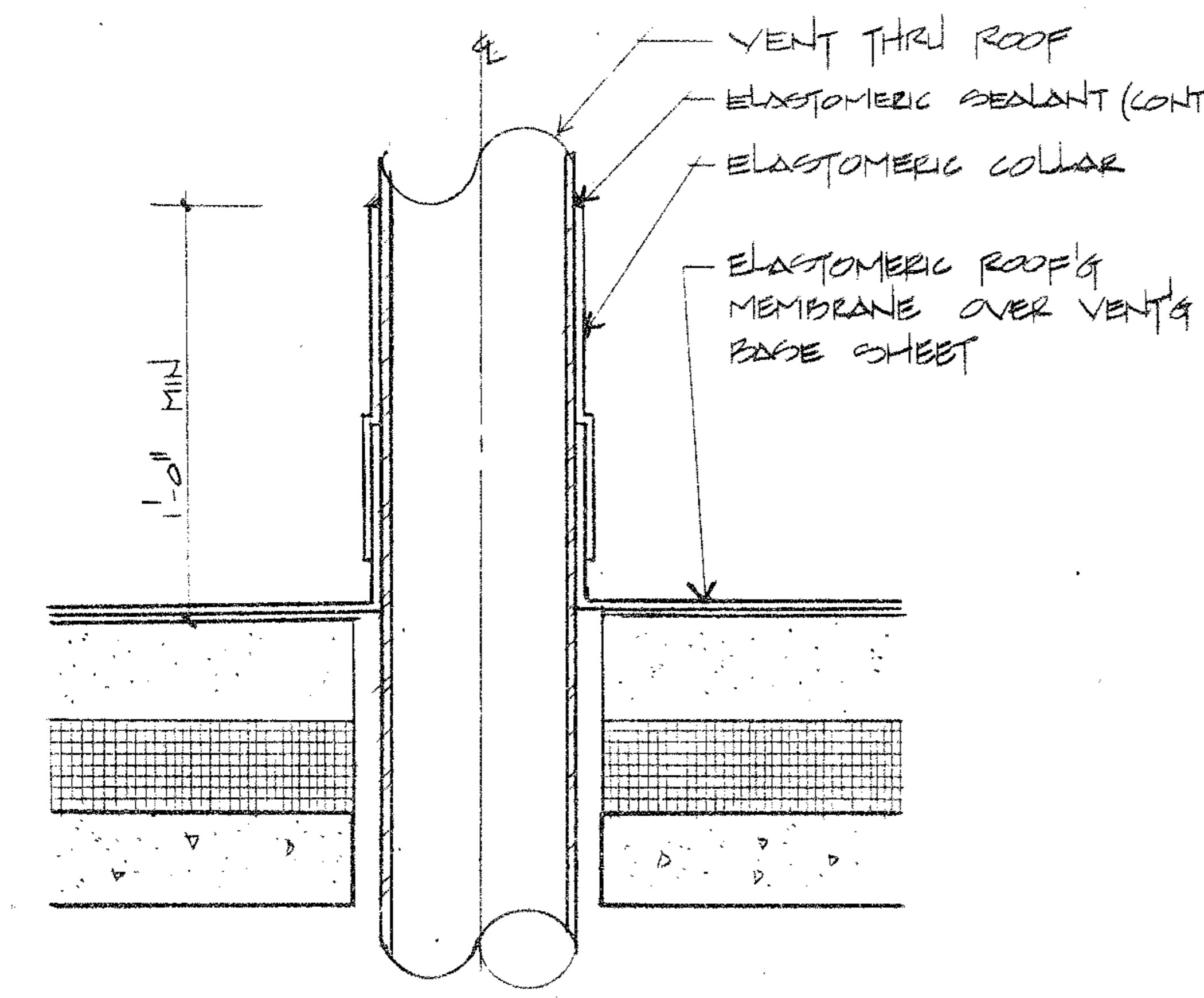
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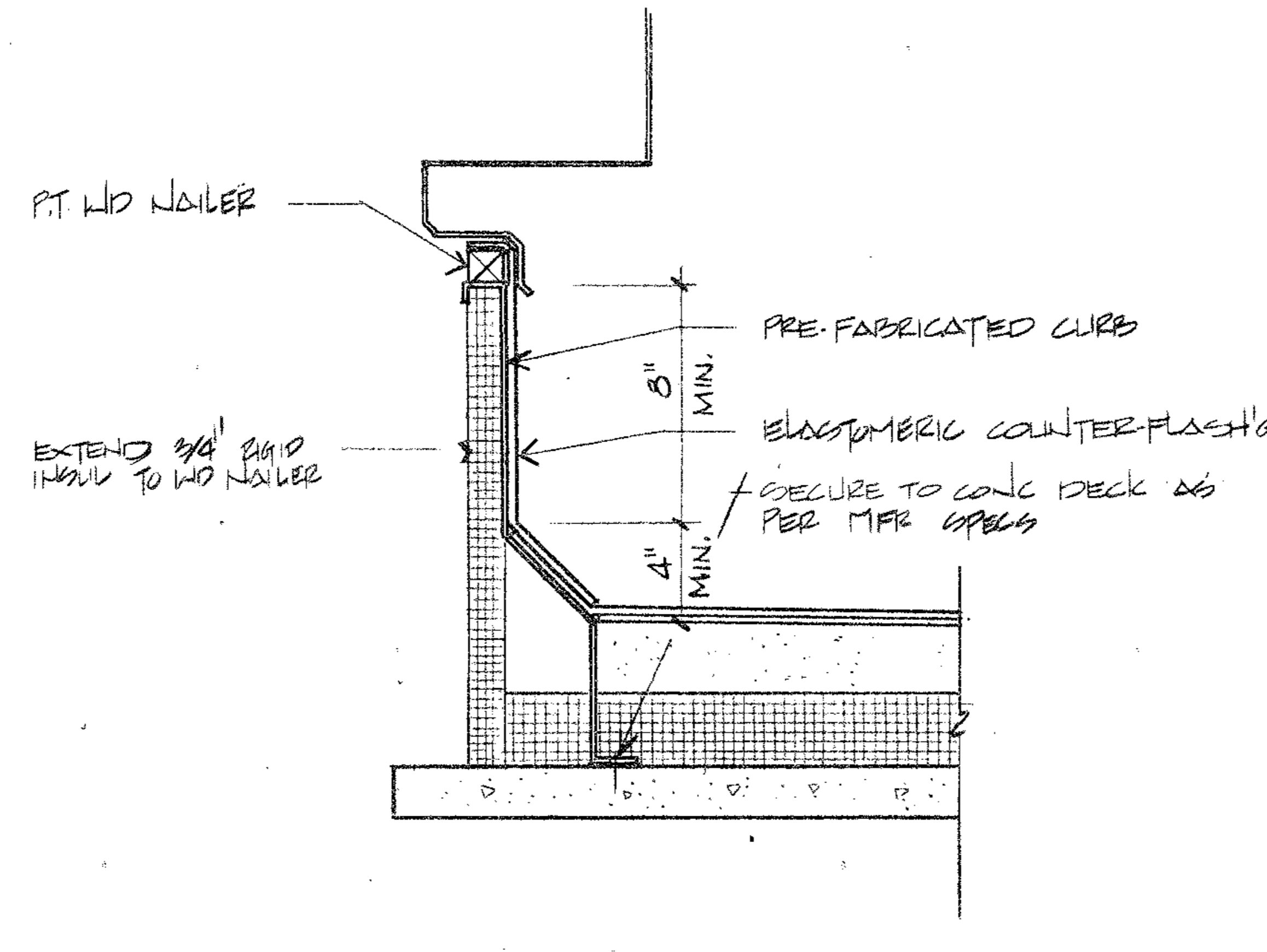
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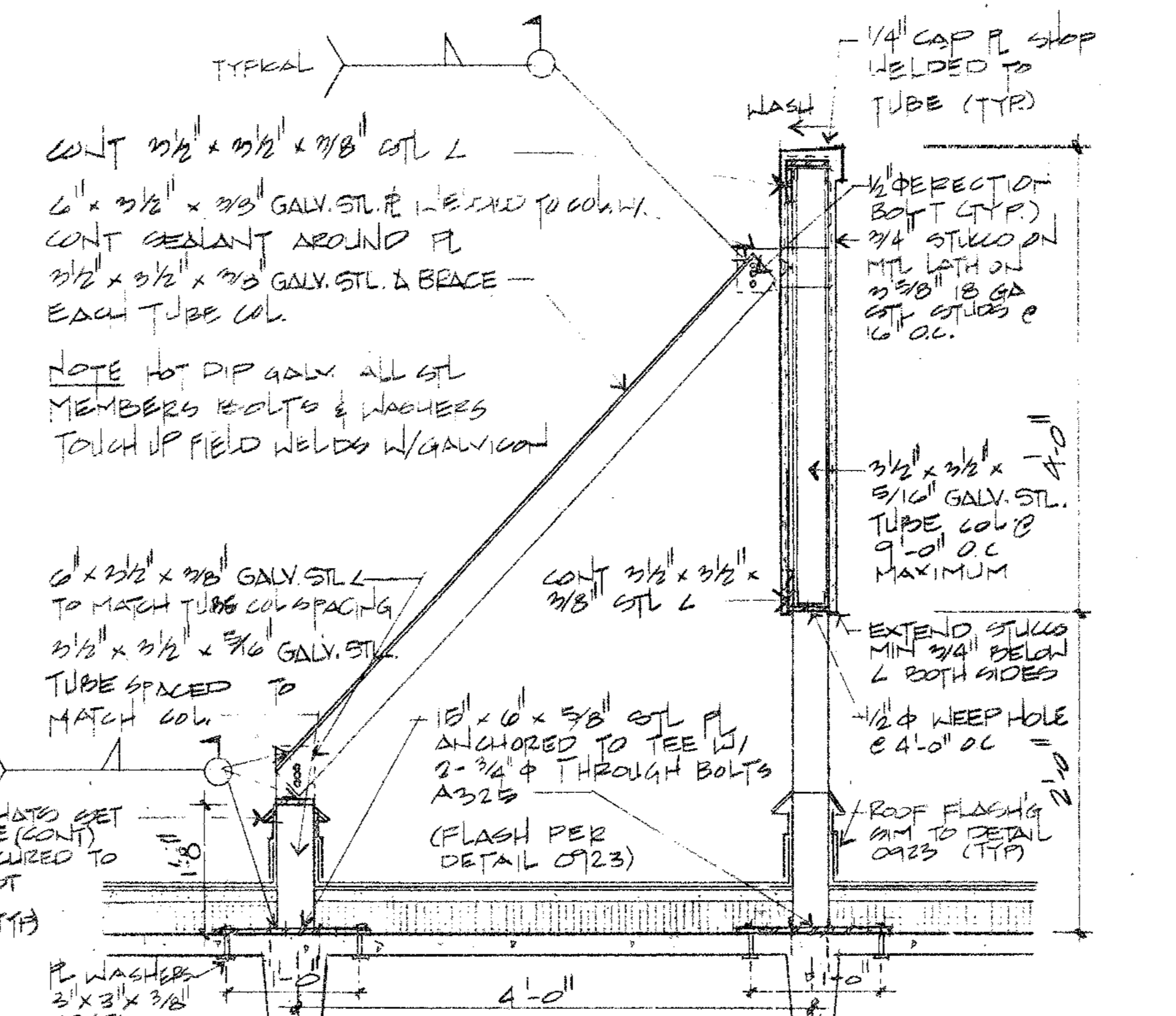
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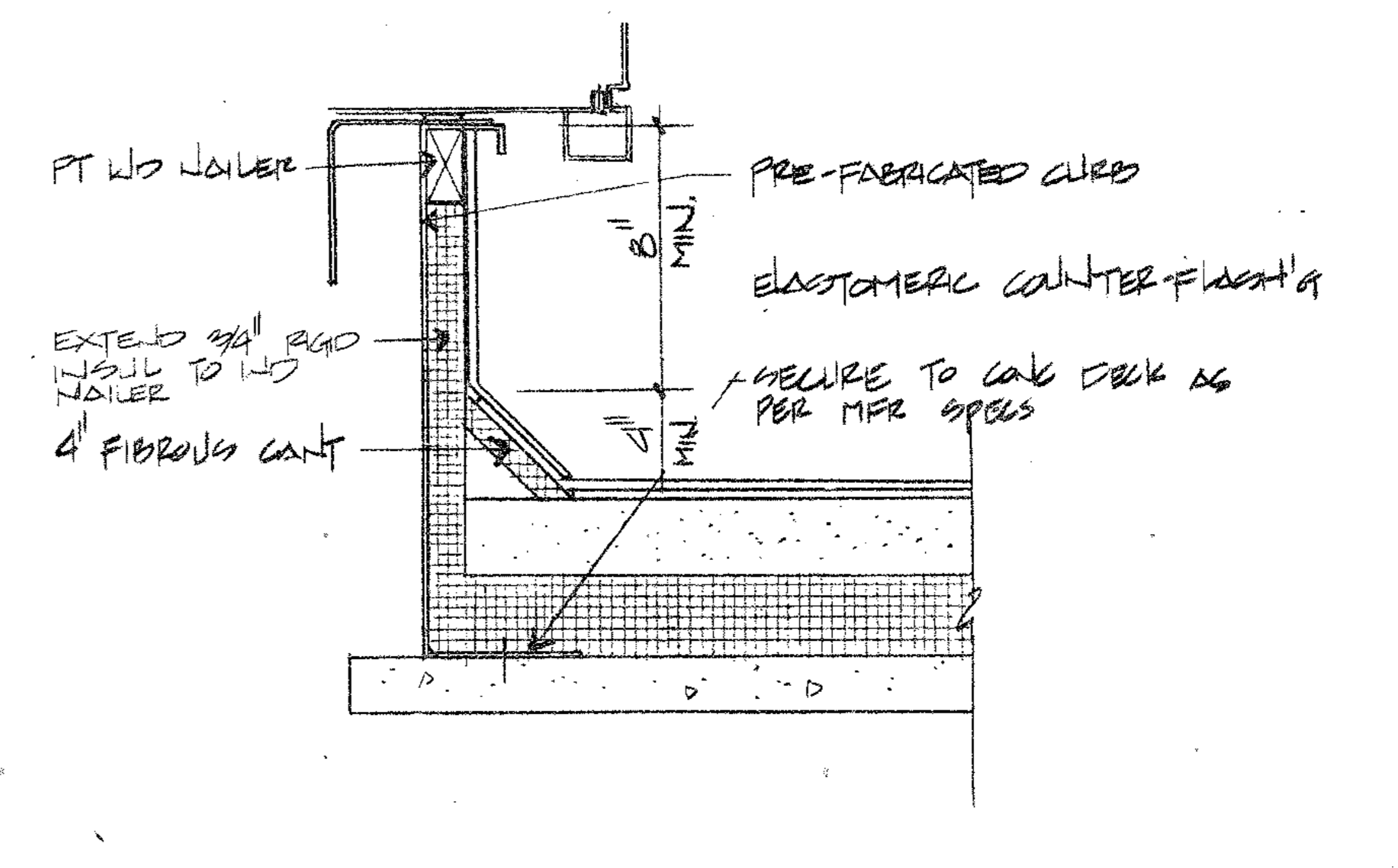
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PREFAB. AC UNIT CURB DETAIL 1223 SCALE 1 1/2\"/>

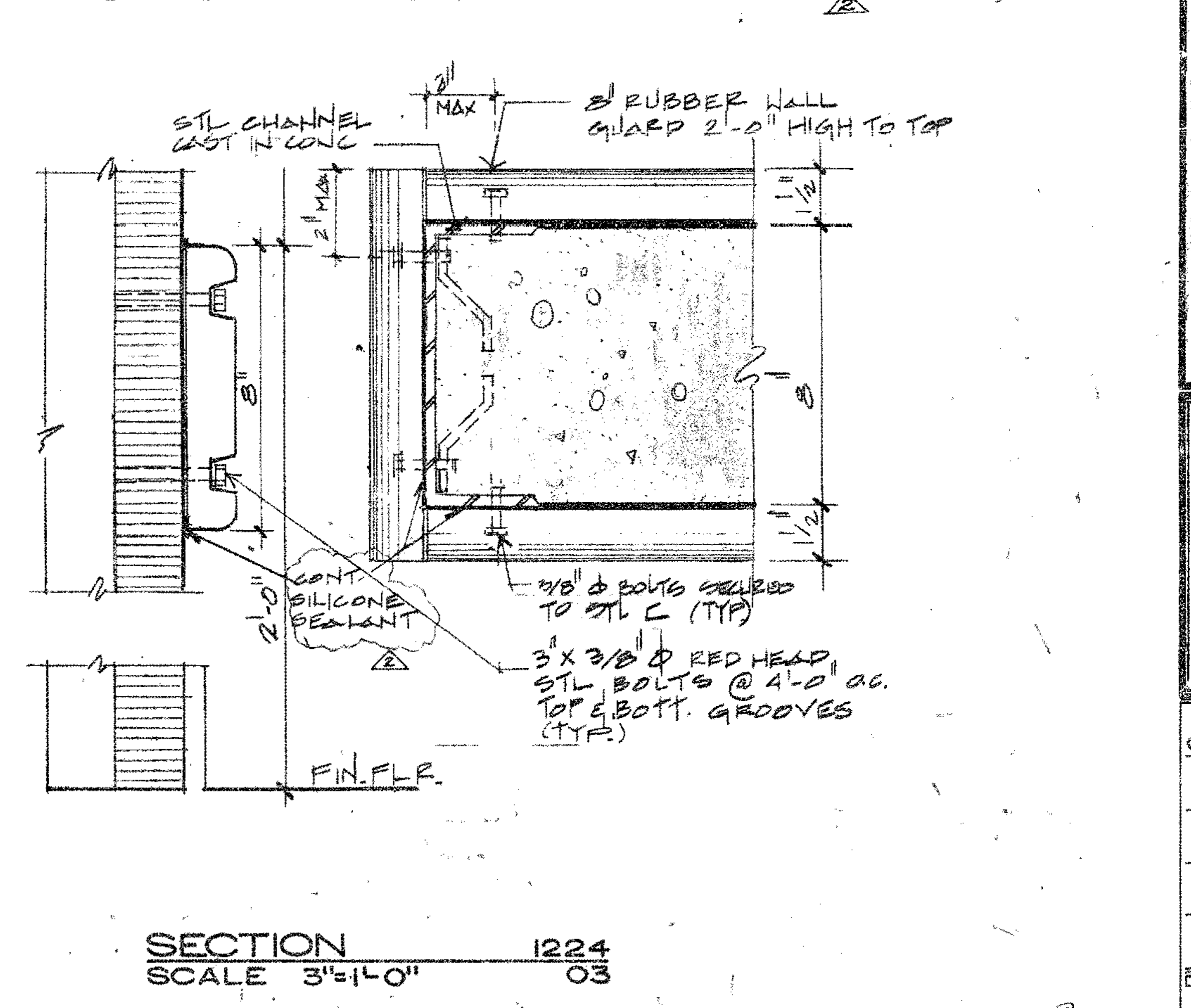
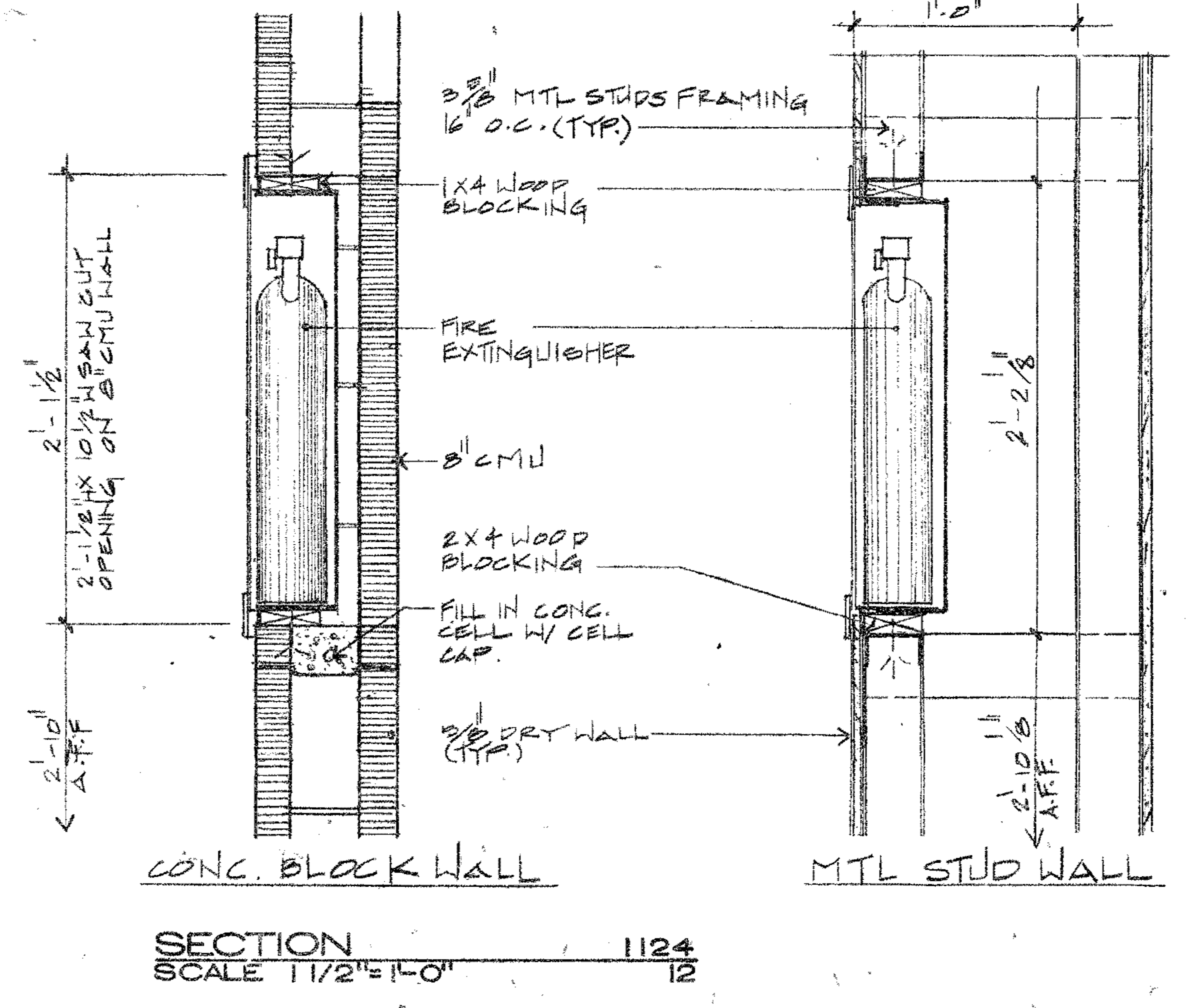
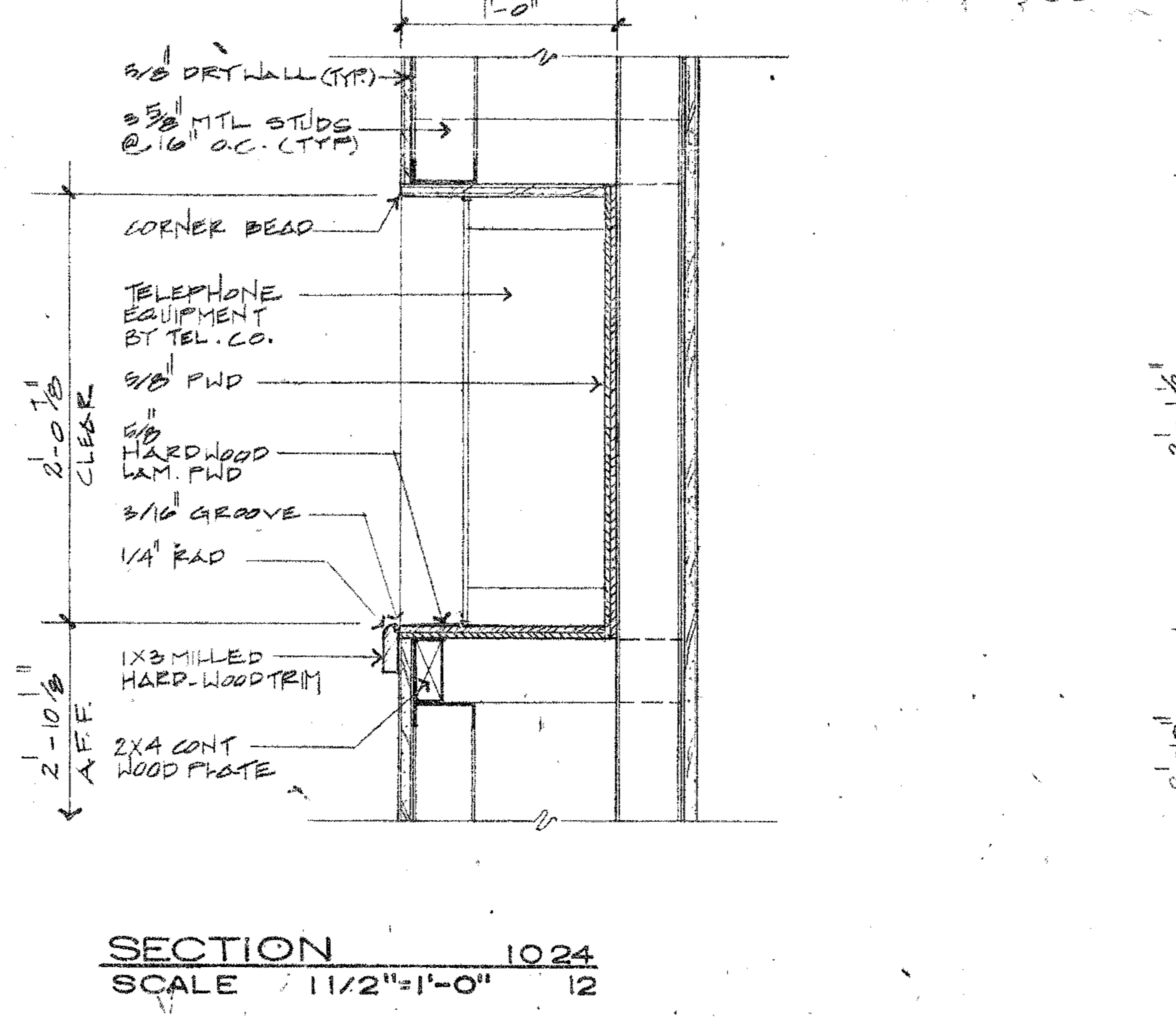
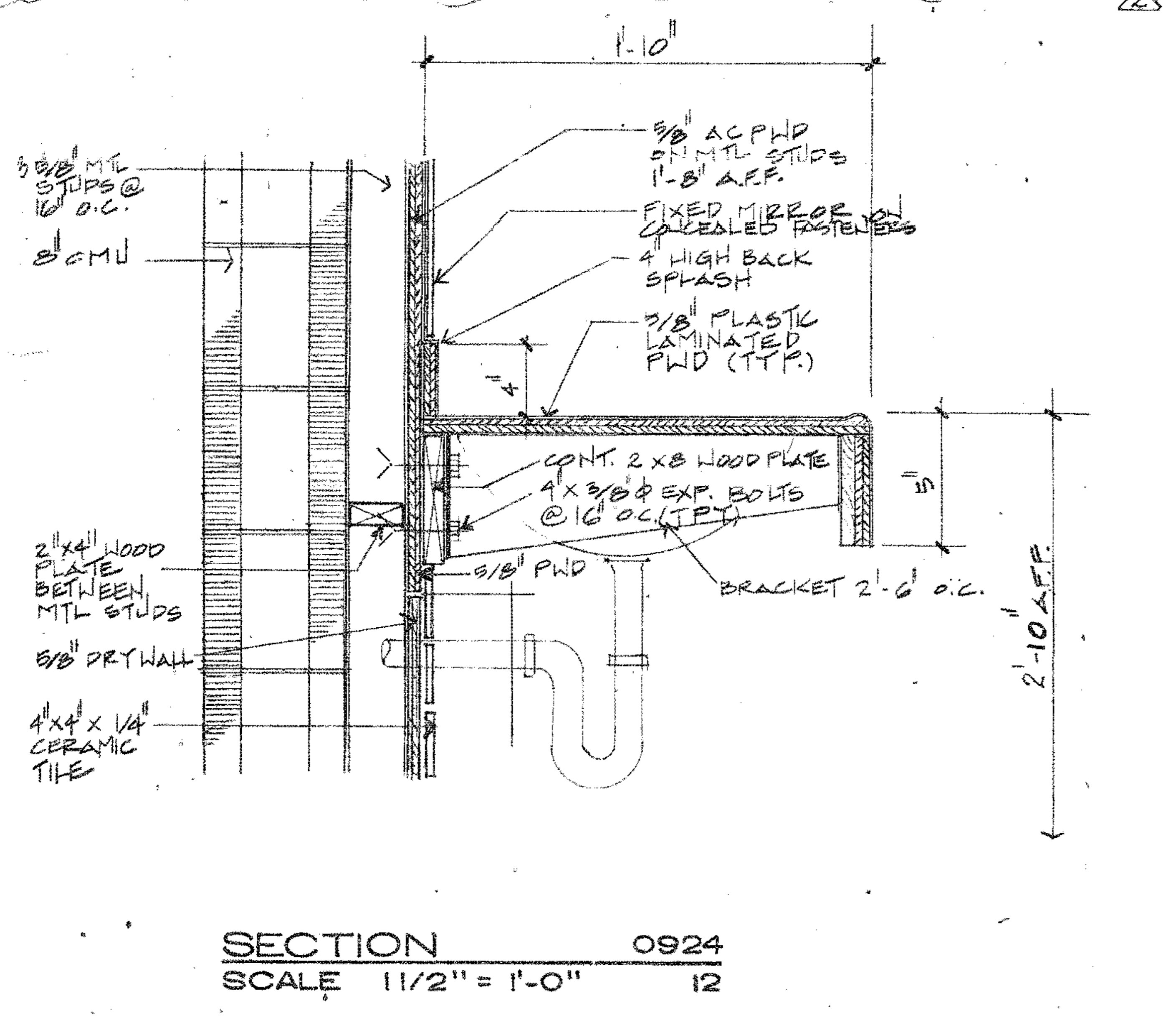
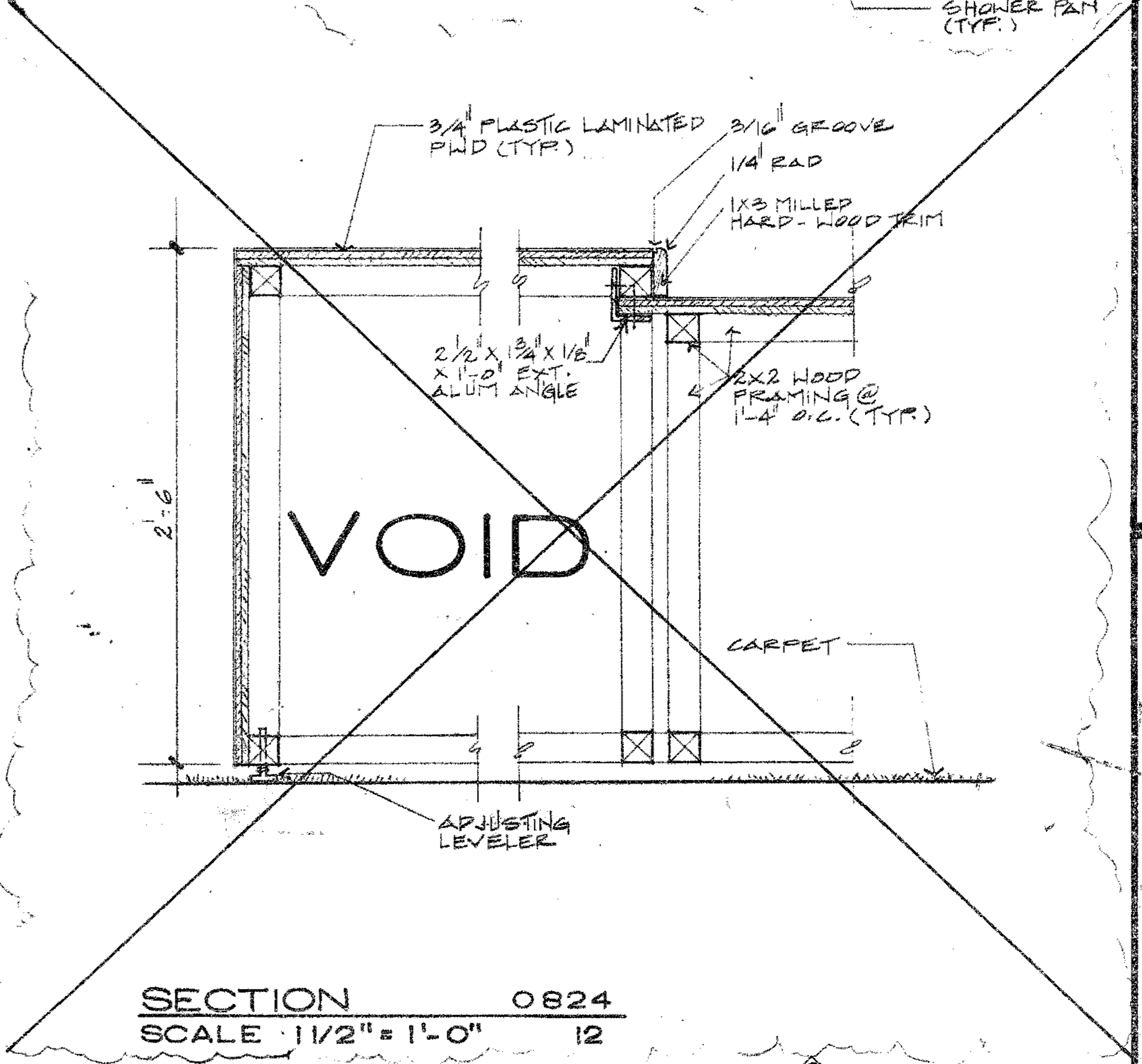
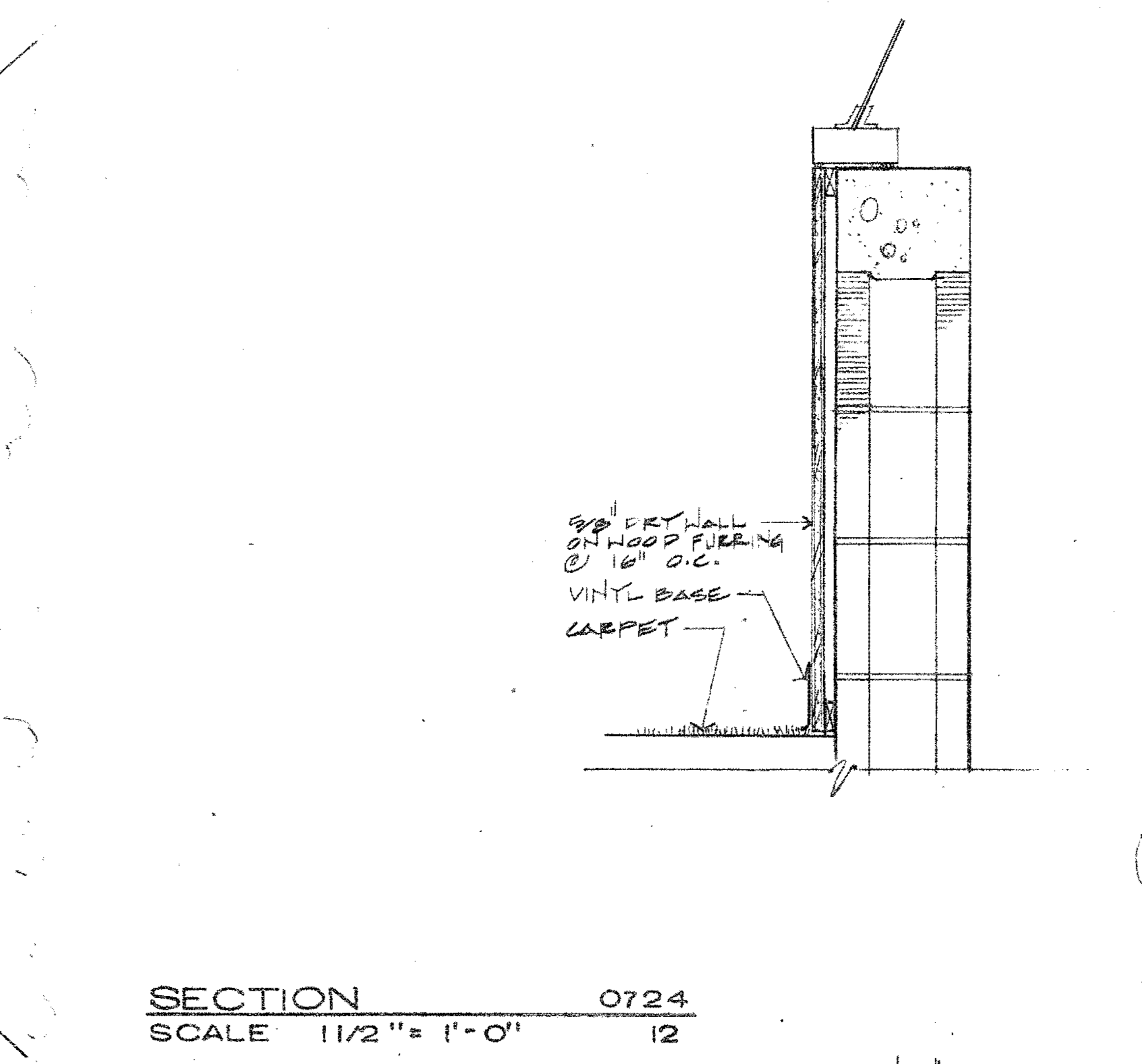
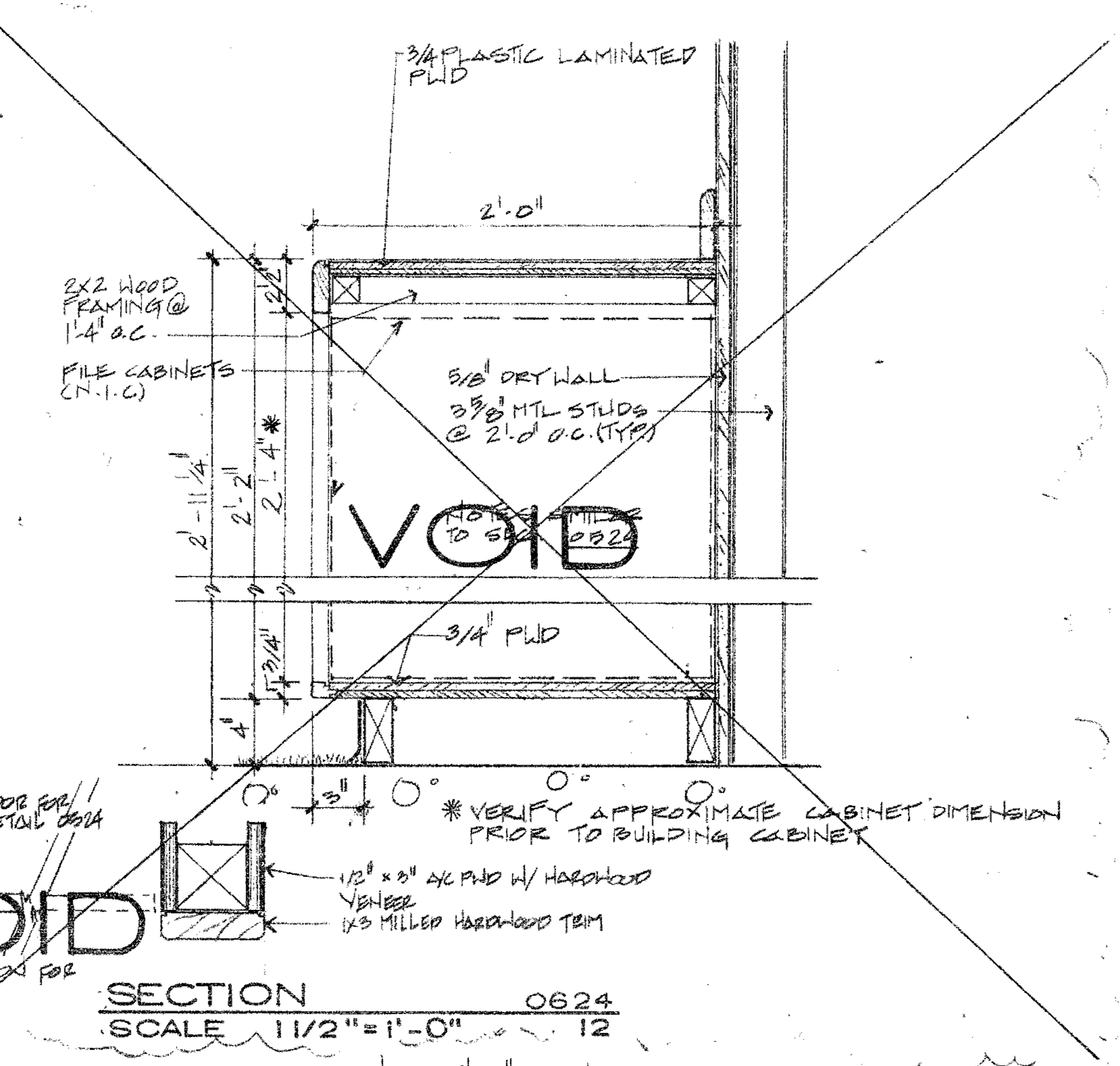
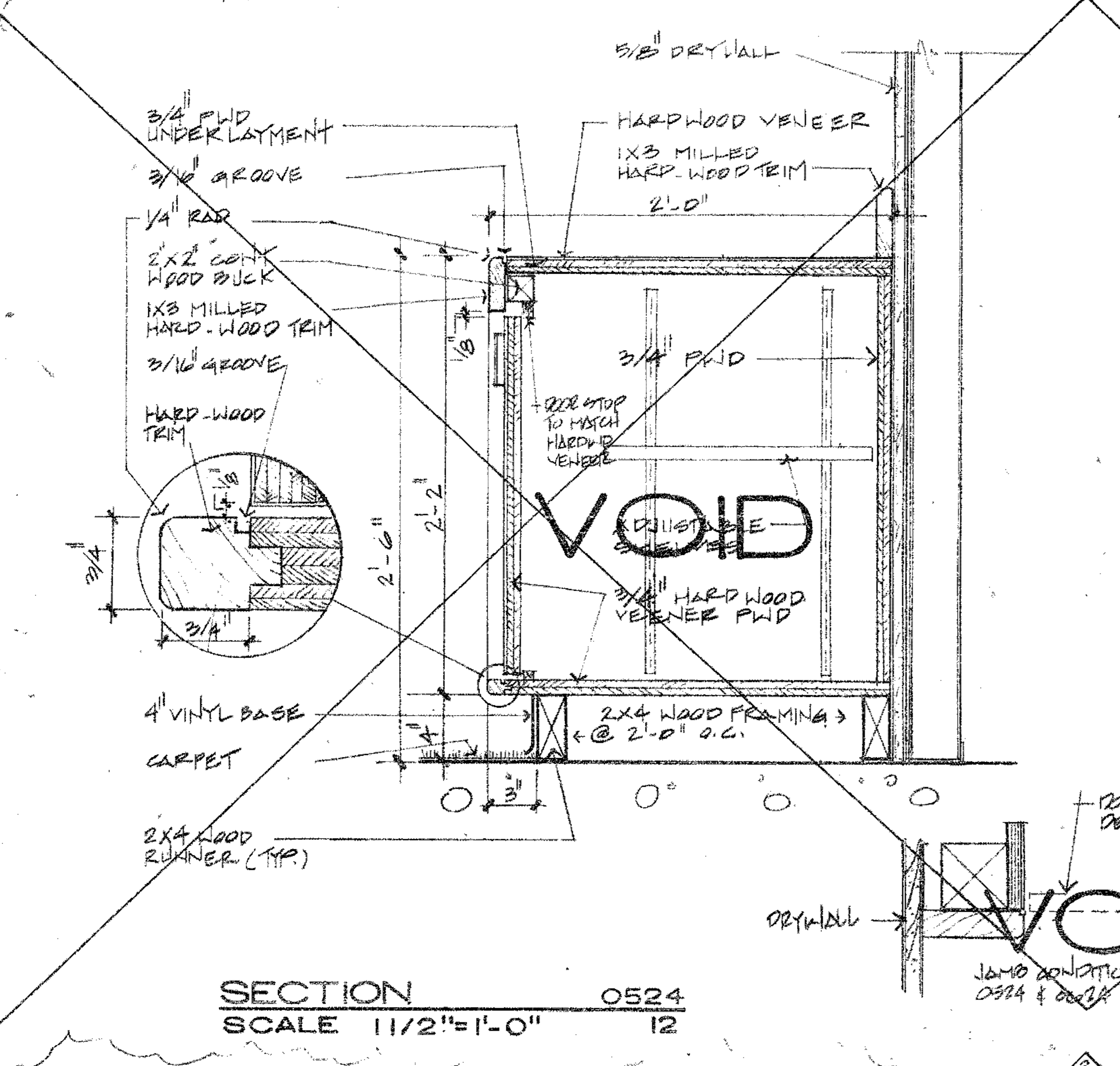
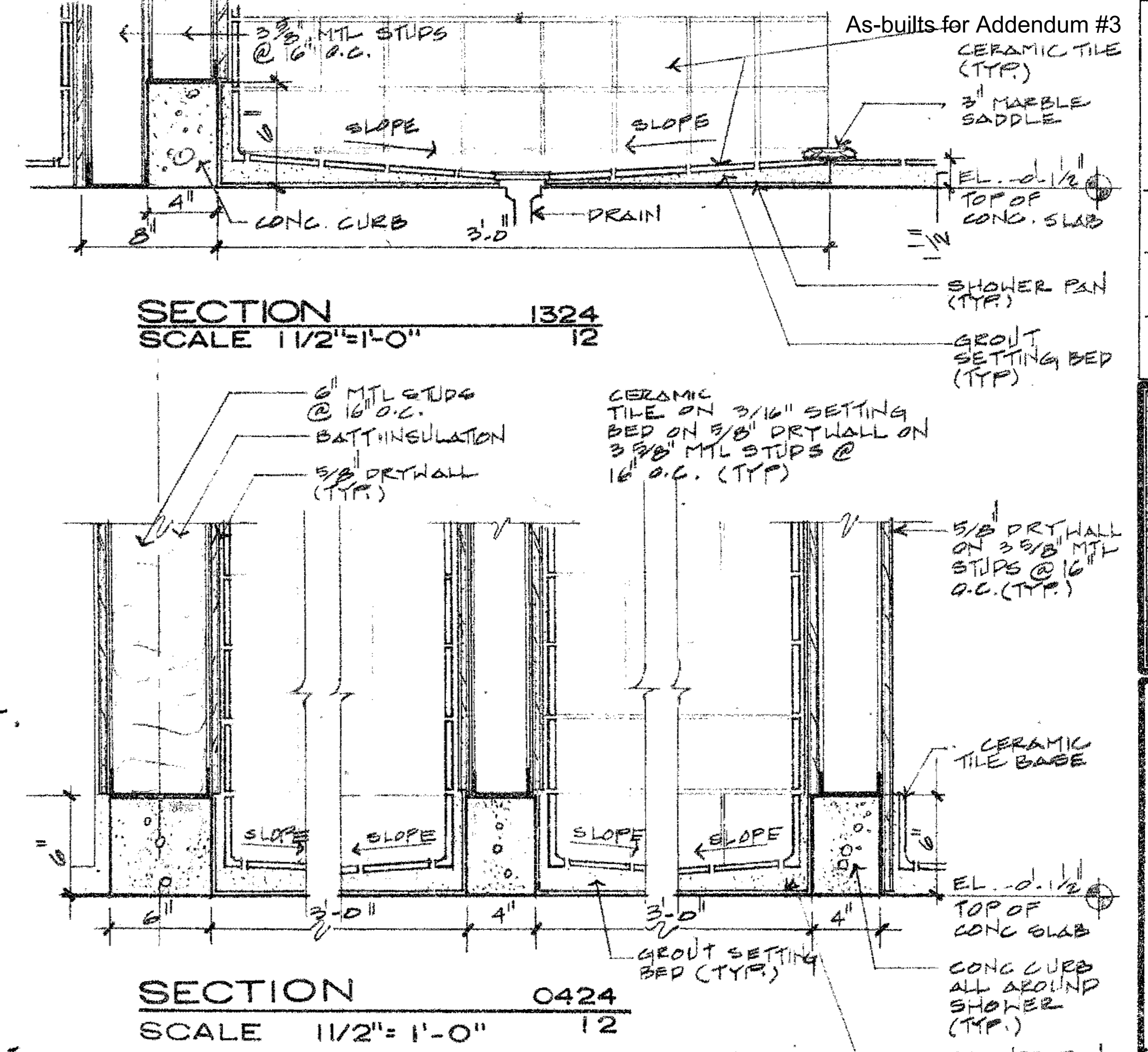
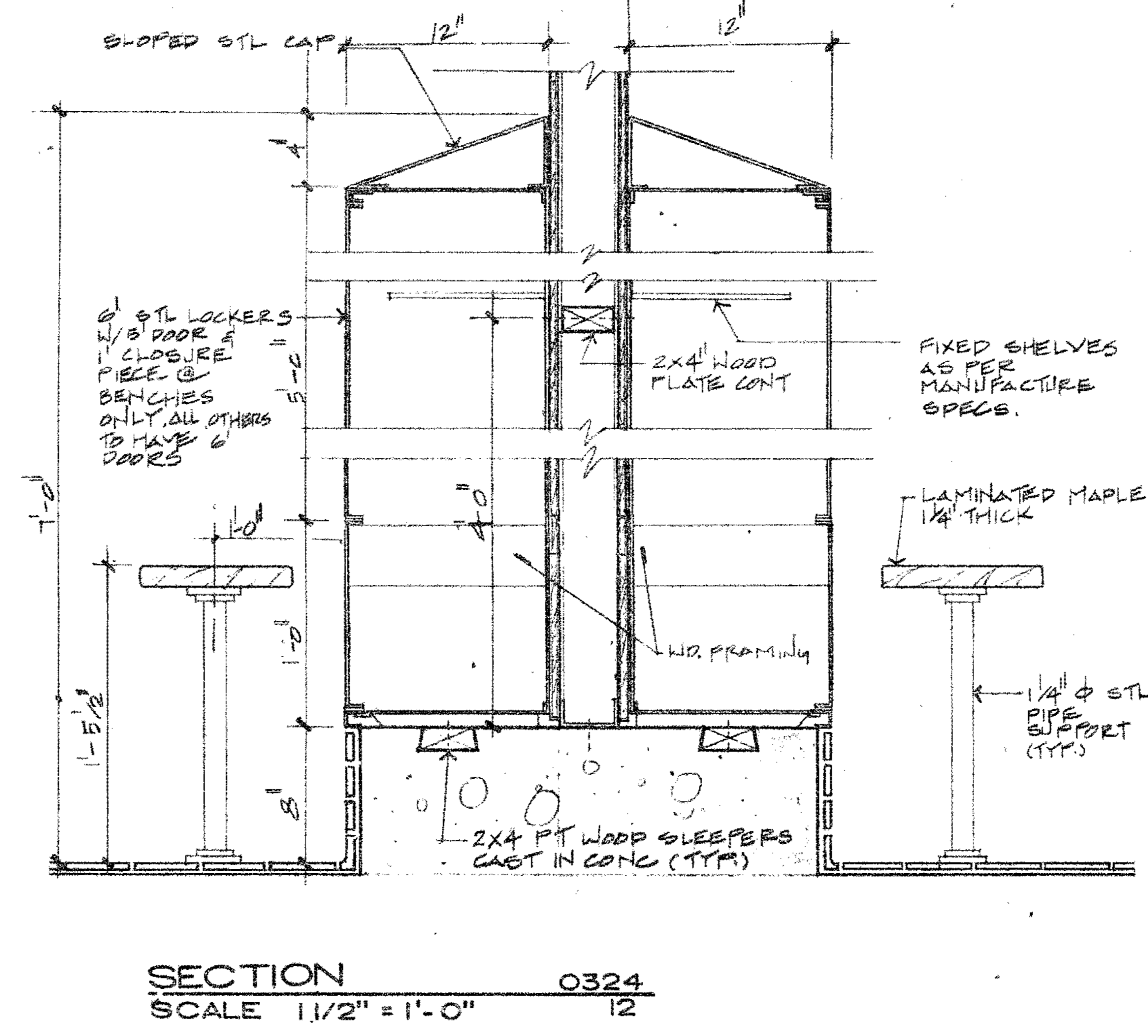
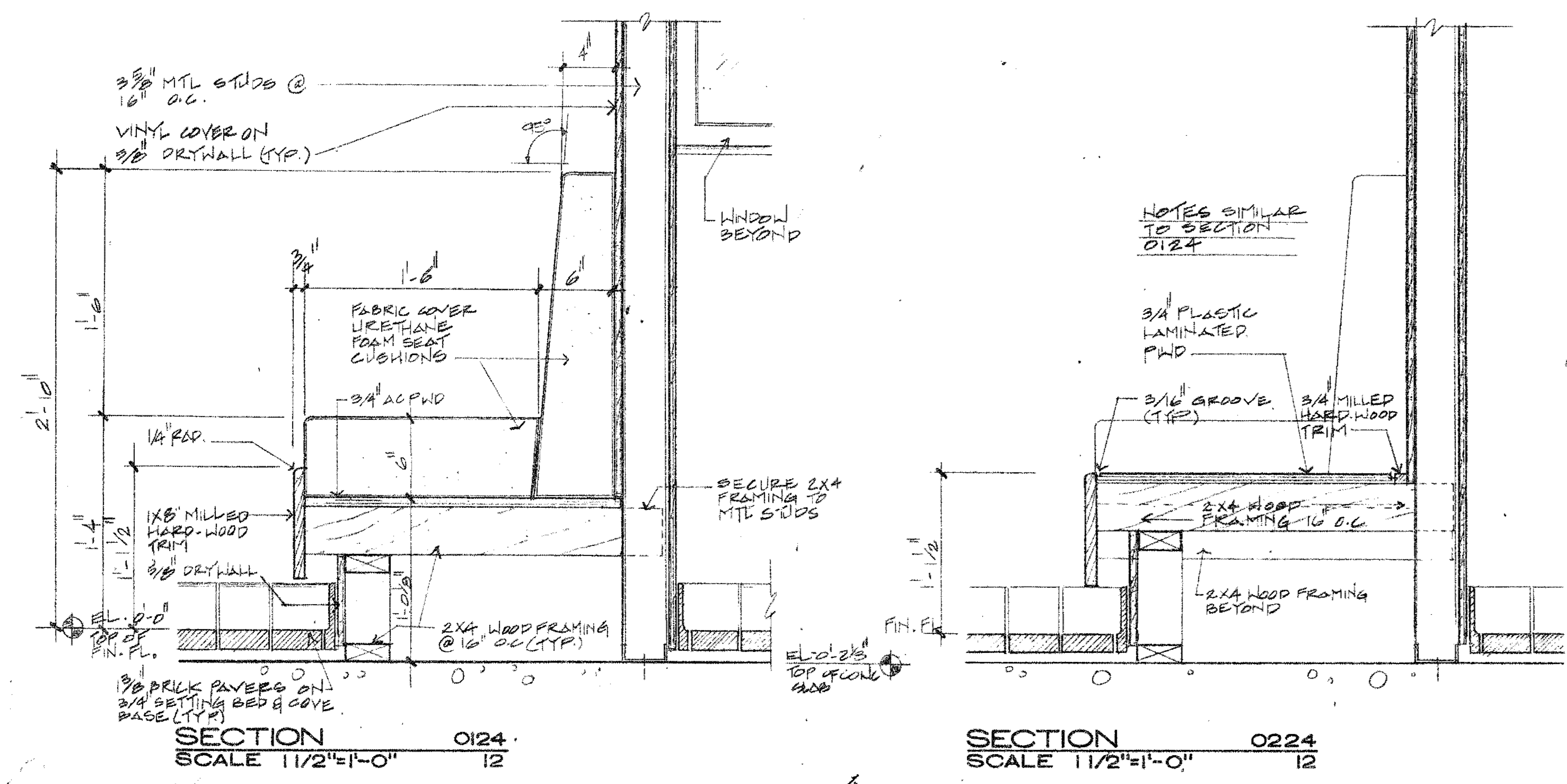
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TINNEY-RUIZ & PARTNERS, P.A. Architecture • Planning • Interior Design 3692 SW 24th ST., MIAMI, FLORIDA 33145 Telephone (305)-441-0268

COMMISSARY FOR: DOBBS HOUSES INC. AT BUILDING 3074 MIAMI INTERNATIONAL AIRPORT

Table with columns for CLIENT, APPROVED, DATE, and ISSUED.

20070



APPENDIX 12	
NO.	DATE APPROVED
TINNEY-RUIZ & PARTNERS, P.A.	
Architecture • Planning • Interior Design	
3602 S.W. 24th ST. MIAMI, FLORIDA 33145. Telephone (305) - 441-0288	
COMMISSARY FOR:	
DOBBS HOUSES INC.	
AT	
BUILDING 3074	
MIAMI INTERNATIONAL AIRPORT	
CLIENT APPROV. DATE	DATE
ISS./TA/VEC	DATE
DRAWN	1-21-85
DOT	APPROVED DATE
ISSUED	1-21-85
BIDDING	ISSUED DATE
9-5-85	9-5-85
CABINETRY	
DRAWING NO.	
A24 of 24	

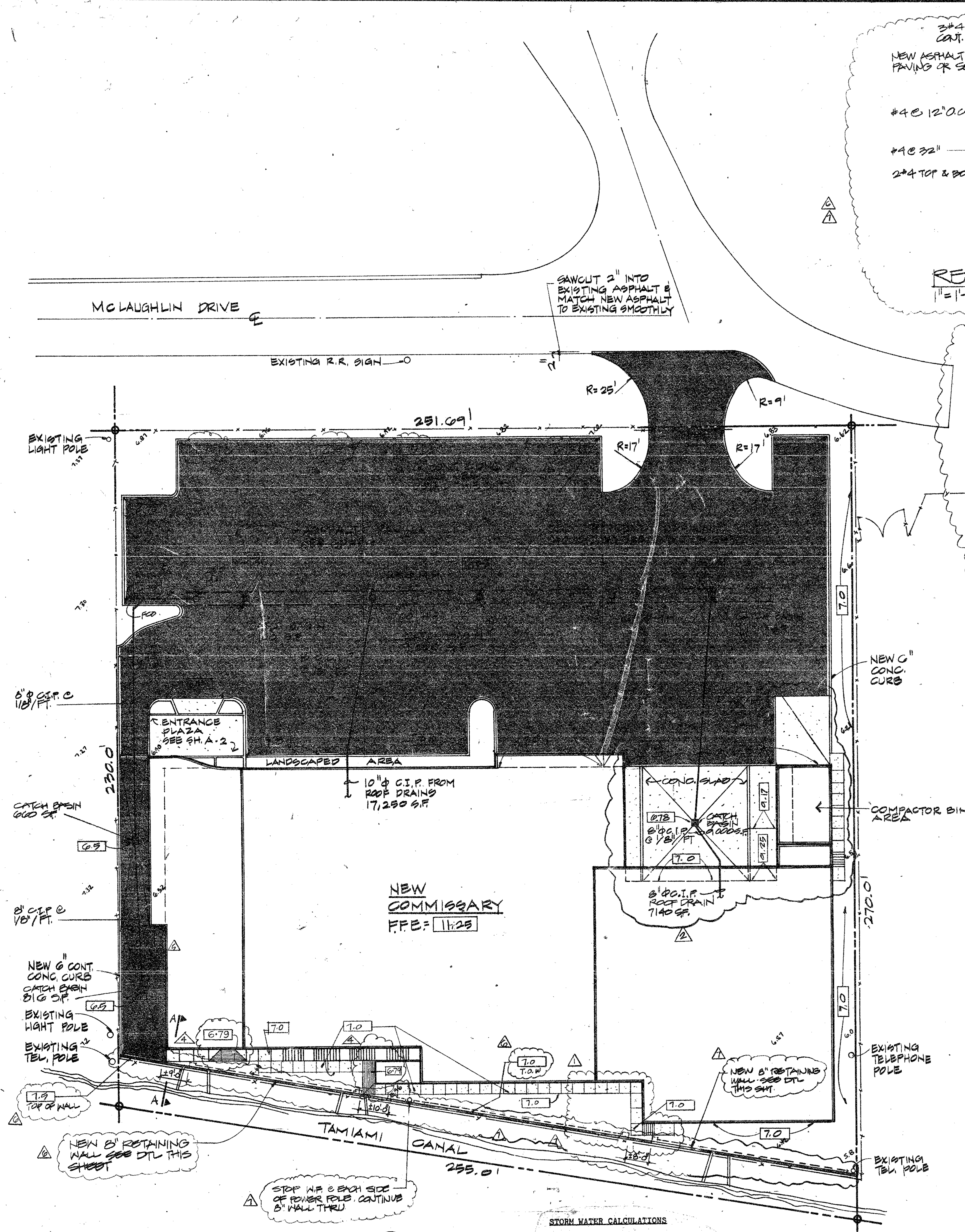
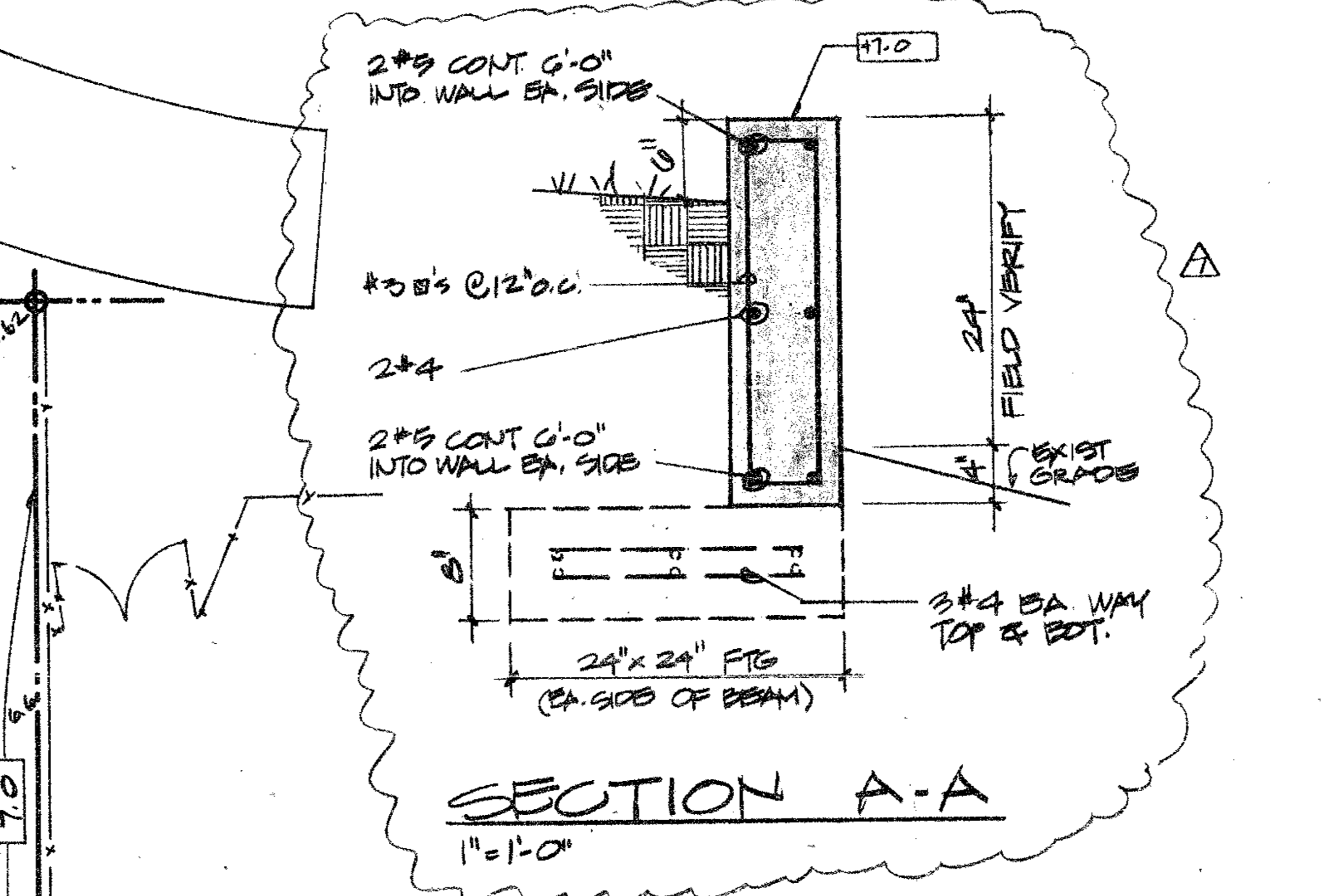
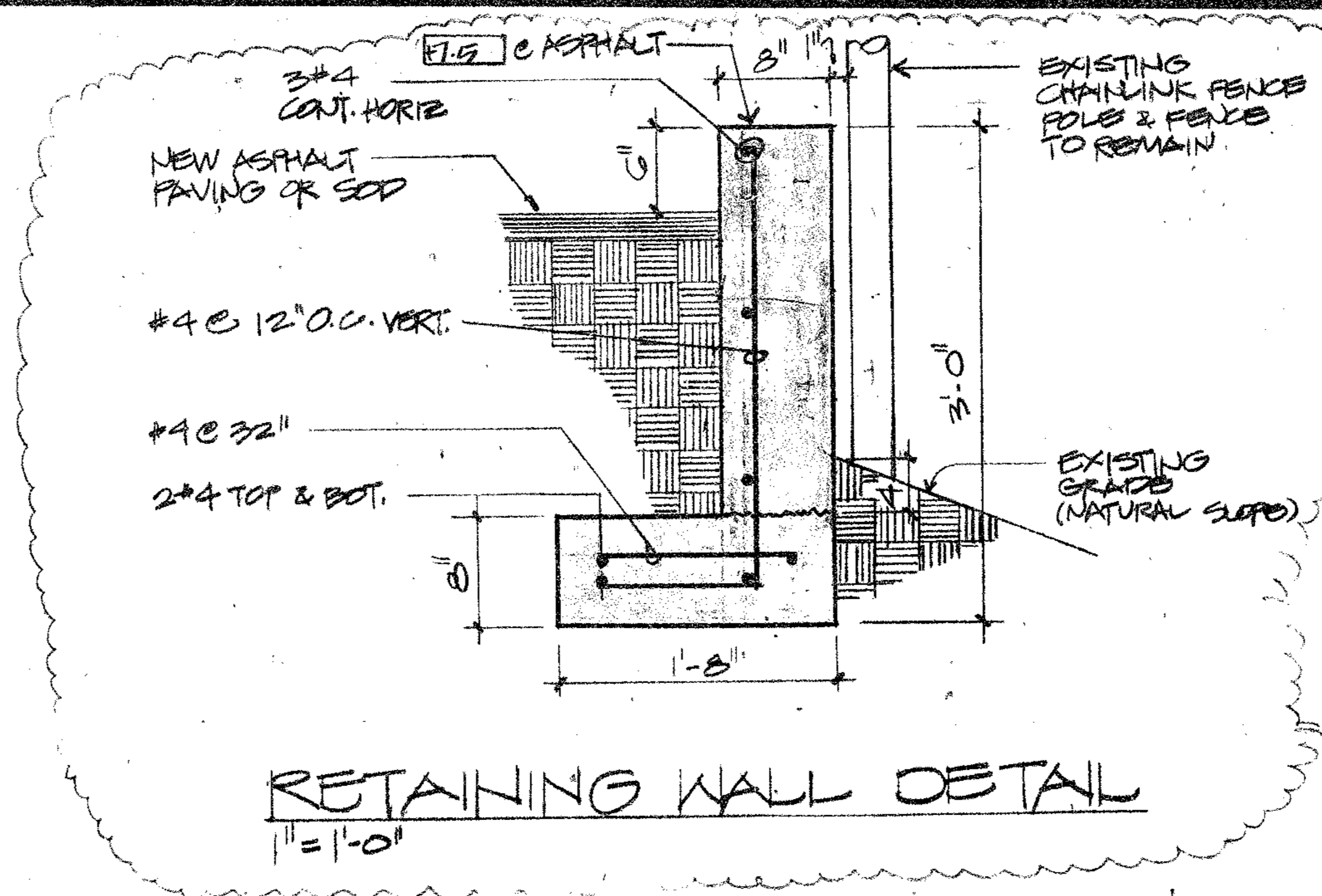
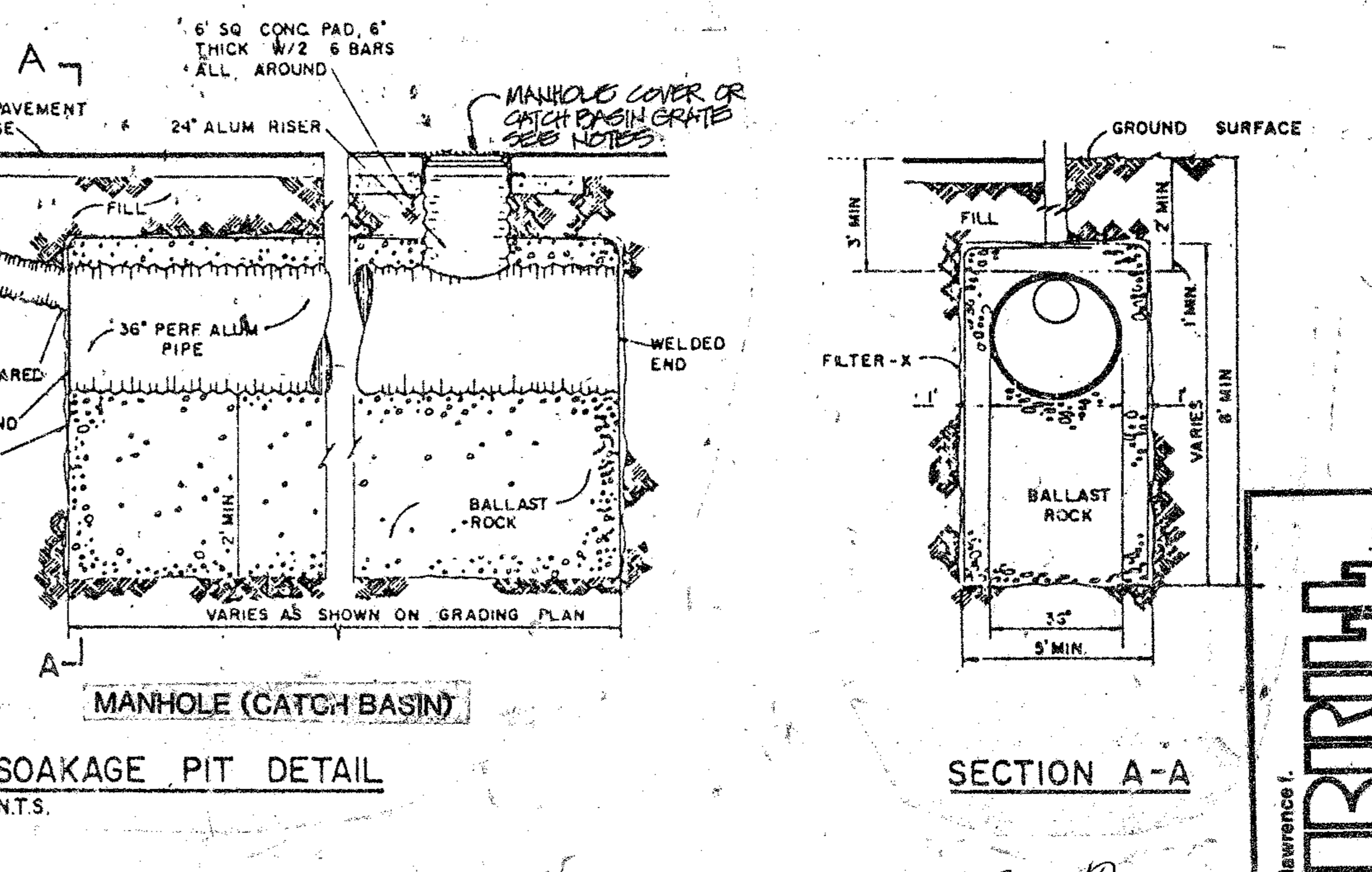
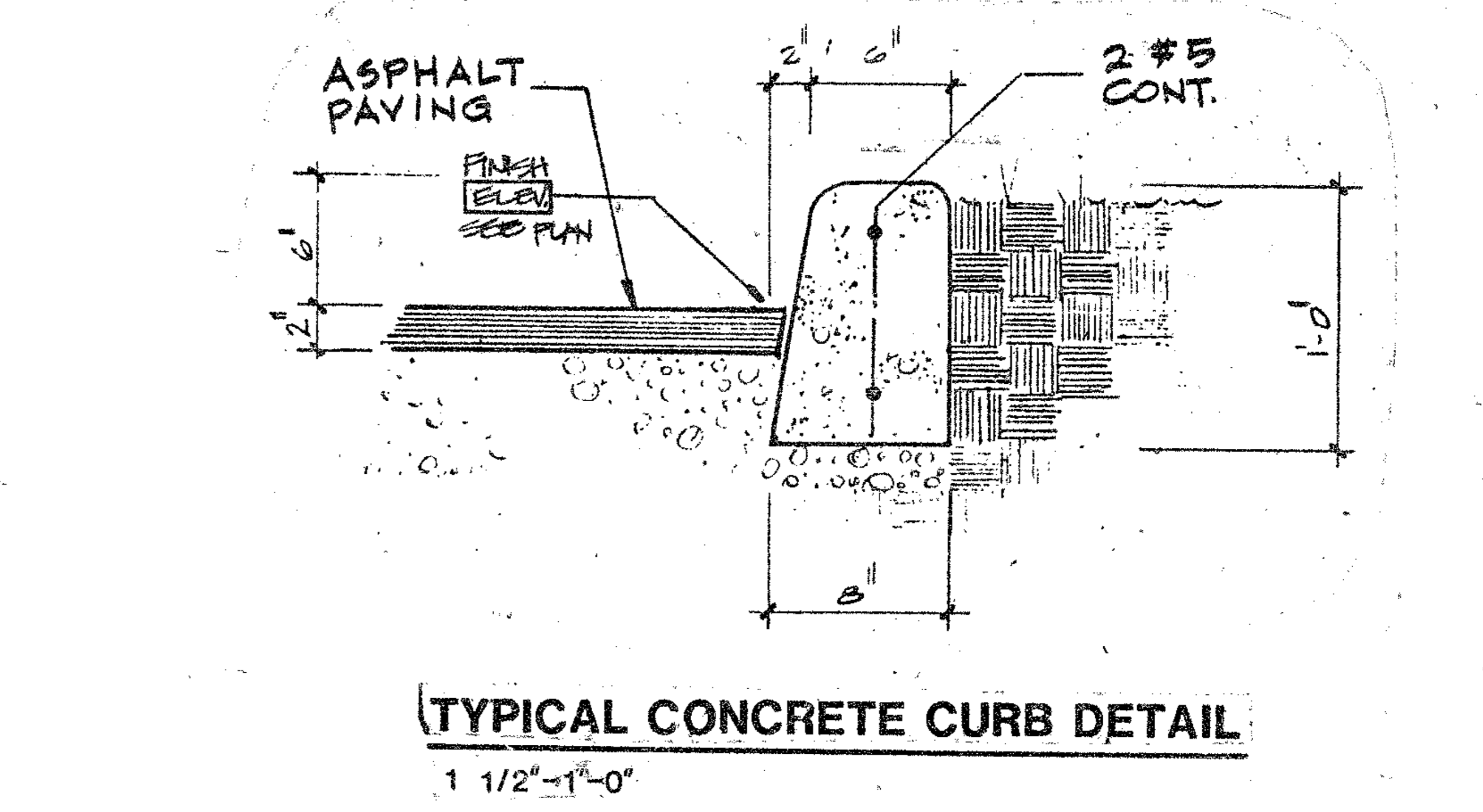
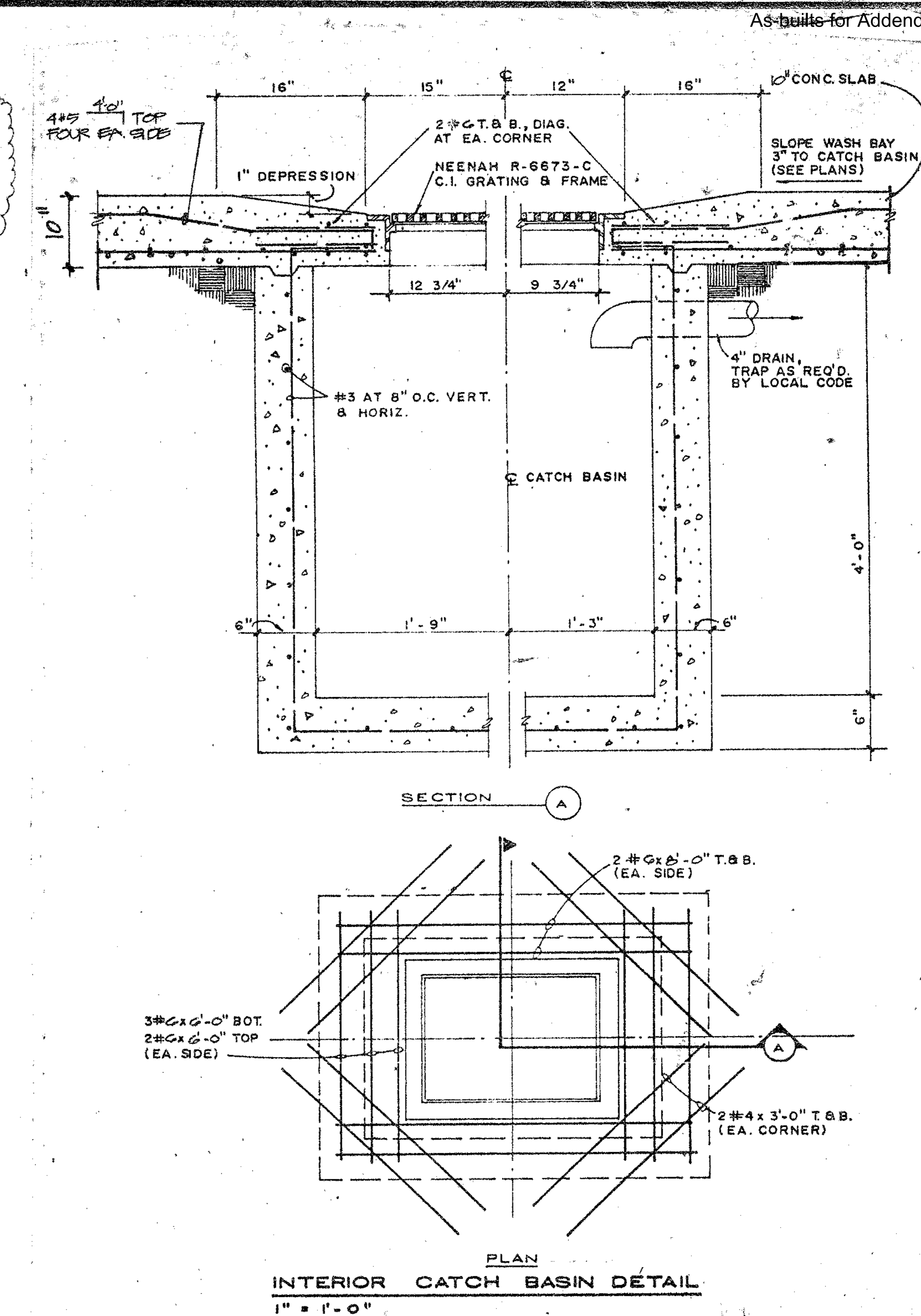
20070

NO.	DATE	DESCRIPTION
1	11-21-84	ISSUED FOR BIDDING
2	11-21-84	FOR BIDDING
3	11-21-84	FOR BIDDING
4	11-21-84	FOR BIDDING
5	11-21-84	FOR BIDDING
6	11-21-84	FOR BIDDING
7	11-21-84	FOR BIDDING
8	11-21-84	FOR BIDDING
9	11-21-84	FOR BIDDING
10	11-21-84	FOR BIDDING

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 AT
 BUILDING 3074
 MIAMI INTERNATIONAL AIRPORT

CLIENT	DATE	DATE	DATE	DATE	DATE
APPROVED	1-20-86	1-20-86	1-20-86	1-21-86	1-21-86
DRAWN	1-20-86	1-20-86	1-20-86	1-21-86	1-21-86
FOR BIDDING	1-20-86	1-20-86	1-20-86	1-21-86	1-21-86
ISSUED	1-21-86	1-21-86	1-21-86	1-21-86	1-21-86
JOB NO.	85-25				



STORM WATER CALCULATIONS

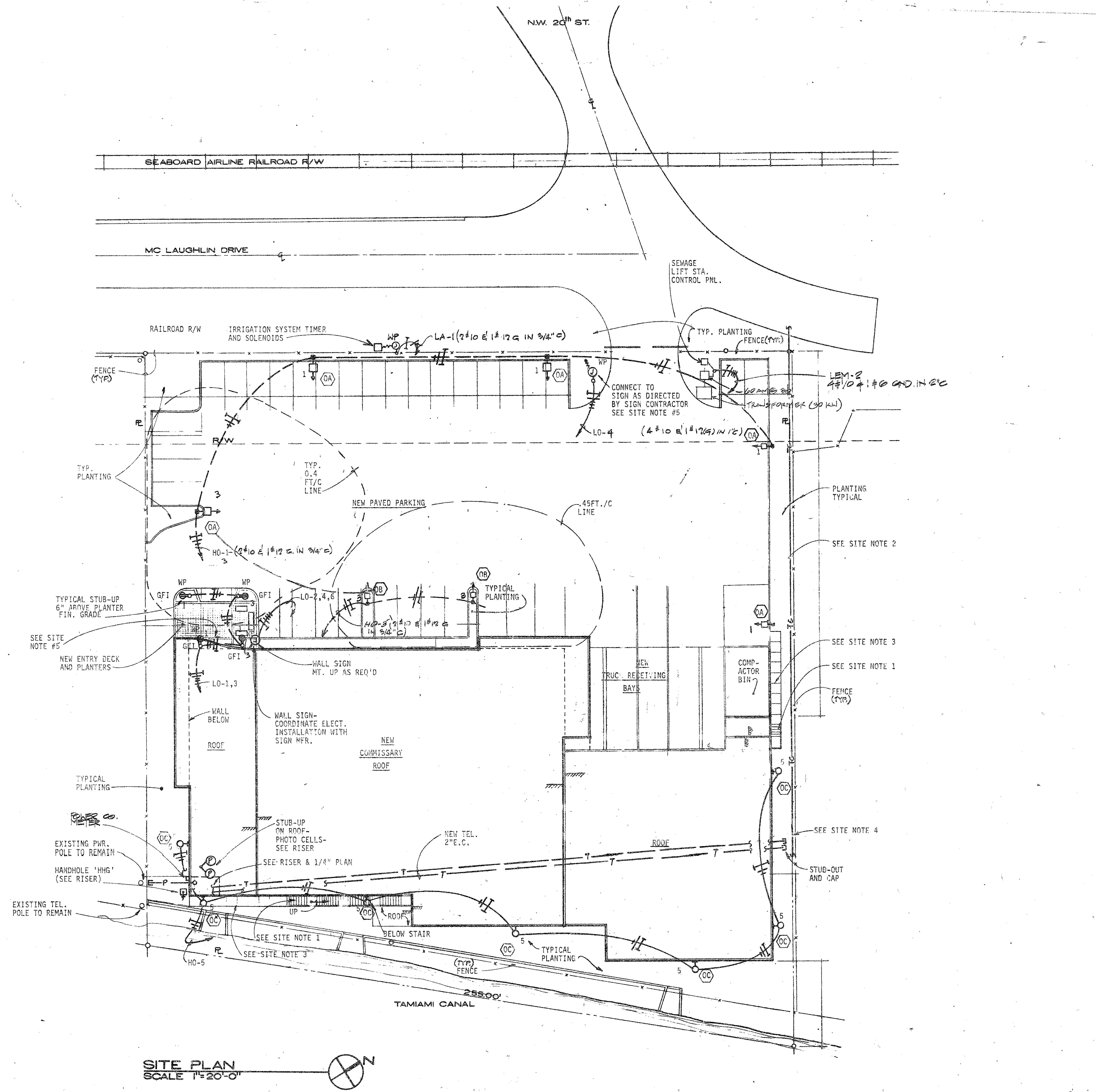
DRAINAGE AREA:	
ASPHALT:	29,750 S.F.
ROOF:	21,957 S.F.
TOTAL:	51,750 S.F.
FRENCH DRAIN CALCS.	
51,750 x 0.017 ÷ 20 S.F. x 2 =	215.7 L.F.
	USE 200 L.F.

- NOTES:**
- CATCH BASIN: FRAME & GRATING TO BE USMAN SERIES R-335A 24" x 24"
 - MANHOLE: FRAME & COVER TO BE NEENAH SERIES R-1745 24" (FOR ACCESS USE ONLY).



ELECTRICAL SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	FLUORESCENT FIXTURE,
	POLE MOUNTED FIXTURE, SEE DETAIL 'A'
	FLUORESCENT FIXTURE, BARE STRIP
	INCANDESCENT FIXTURE, CEILING MOUNTED ON PANEL A - CIRCUIT NO. 1
	INCANDESCENT FIXTURE, WALL MOUNTED, CONTROLLED BY SWITCH "a"
	LIGHT FIXTURE ON EMERGENCY CIRCUIT
	EXIT LIGHT FIXTURE, ARROW AS INDICATED
	FAN TOGGLE DISC. SW. (FURNISHED WITH FAN)
	LIGHT FIXTURE TYPE "A" - SEE LIGHTING FIXTURE SCHEDULE
	SINGLE-POLE TOGGLE SWITCH, 20A-125/277V, +48", SWITCH "a"
	FOUR-WAY TOGGLE SWITCH, 20A-125/277V, +48"
	THREE-WAY TOGGLE SWITCH, 20A-125/277V, +48"
	SWITCH WITH PILOT LIGHT, +48"
	MANUAL STARTING SWITCH, +48"
	DUPLEX RECEPTACLE OUTLET, 20A-125V, 3 WIRE, +18"
	SINGLE RECEPTACLE OUTLET, ONE SIDE SWITCHED, +18"
	THREE OR FOUR WAY SWITCH IN CRAWL SPACE
	SPECIAL PURPOSE RECEPTACLE OUTLET
	JUNCTION BOX - WALL AND CL'G.
	FLOOR OUTLET BOX WITH DUPLEX RECEPTACLE, 15A-125V, 3 WIRE, WALKER # 800 LCK. BOX #513E PWR. SERVICE FITTING/825 FFCK ADAPTOR & 825 CPLA C. FLANGE.
	FLOOR TELEPHONE OUTLET - WALKER # 501E SERVICE FITTING W/ FITTINGS SAME AS FOR TELEPHONE WALL OUTLET, WALL MOUNTED, +18"
	CLOCK OUTLET, +7'-6"
	THERMOSTAT OUTLET, +5'-0"
	CONTACTOR
	MOTOR, SIZE AS INDICATED
	MOTOR STARTER OR CONTROLLER
	DISCONNECT SWITCH (HEAVY DUTY SAFETY SWITCH)
	LIGHTING OR GENERAL PANELBOARD
	DISTRIBUTION AND/OR POWER PANELBOARD OR GUTTER
	TELEPHONE TERMINAL BOARD OR CABINET
	CONDUIT RUN CONCEALED IN WALL OR CEILING
	CONDUIT RUN UNDERGROUND, IN OR BELOW FLOOR SLAB
	CONDUIT RUN EXPOSED
	FLEXIBLE CONDUIT
	DENOTES "ELECTRIC WATER HEATER"
	DENOTES "RAINTIGHT" EQUIPMENT
	DENOTES "WEATHERPROOF" EQUIPMENT
	FIRE ALARM SYSTEM CONTROL PANEL = FIRE-LITE #1000 SERIES (6 ZONE)
	FIRE ALARM SYSTEM SMOKE DETECTOR, CLG. MT #CP-71
	FIRE ALARM SYSTEM HEAT DETECTOR, CLG. MT (FIXED TYPE) #84
	FIRE ALARM SYSTEM MANUAL STATION BG-10
	FIRE ALARM SYSTEM FLUSH HORN 6'-8" WITH STROBE LIGHT #5TH 72
	FIRE ALARM SYSTEM ANNUNCIATOR, 3'-0" = FIRE-LITE #RZA-B (RECESSED)
	RECESSED BATTERY LIGHT
	LIGHT & RECEPTACLE IN CRAWL SPACE MT'D TO DG. (BELOW FLOOR)
	FIRE ALARM SYSTEM DUCT SMOKE DETECTOR. #DH21
	POWER RACEWAY
	TEL. RACEWAY
	INDICATES "GROUND FAULT INTERRUPTING"
	FIRE ALARM SYSTEM STROBE LIGHT #5TH (#4'-8")
	I = GND., LONG TIC = NEUTRAL, AND SHORT TIC = PHASE OR HOT LEG.
	DIRECT CURRENT WIRING - FOR BATTERY LIGHT
	WALL MT'D BATTERY LIGHT WITH TWO HEADS ATTACHED
	WALL MT'D BATTERY LIGHT WITH ONE HEAD ATTACHED & ONE REMOTE

- SITE NOTES:**
- 1) SEE PLAN SHEET E-3 FOR ADDITIONAL OUTSIDE LIGHTING THIS AREA.
 - 2) EXISTING 200 PAIR TEL. CABLE (BURIED 30" BELOW FIN. GRADE) TO REMAIN. COORDINATE BLDG. CONSTRUCTION WITH TEL. COMPANY AND PROTECT CABLE AND RIGHT-A-WAY AS DIRECTED BY TEL. CO.
 - 3) NEW CONCRETE SLAB (SIDE WALK) AND STEPS.
 - 4) STUB OUT & CAP EMPTY 2" TEL. CONDUIT AS DIRECTED BY TEL. CO.
 - 5) COORDINATE SIGNS WITH SIGN CONTRACTOR AND PROVIDE DISC. SW. WHEN REQUIRED.
 - 6) AREA POLE LIGHTING CRITERIA:
A) MINIMUM MAINTAINED = 1.0 F.C.
B) UNIFORMITY: MAX. TO MIN. = 12 TO 1
 - 7) LIGHTING POLE CRITERIA: POLE SHALL WITHSTAND 120 M.P.H. WIND LOADING AS PER SOUTH FLORIDA BUILDING CODE AND MAXIMUM 3% DEFLECTION WHEN LOADED WITH A LUMINAIRE ARRANGEMENT OF A TOTAL OF 6.0 SQ. FT. E.P.A.
 - 8) THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL EXISTING PARKING AREA LIGHTING AND REMOVAL OF ALL TEL. & POWER UTILITIES PRIOR TO DEMOLITION ON THIS SITE.



SITE PLAN
SCALE 1"=20'-0"

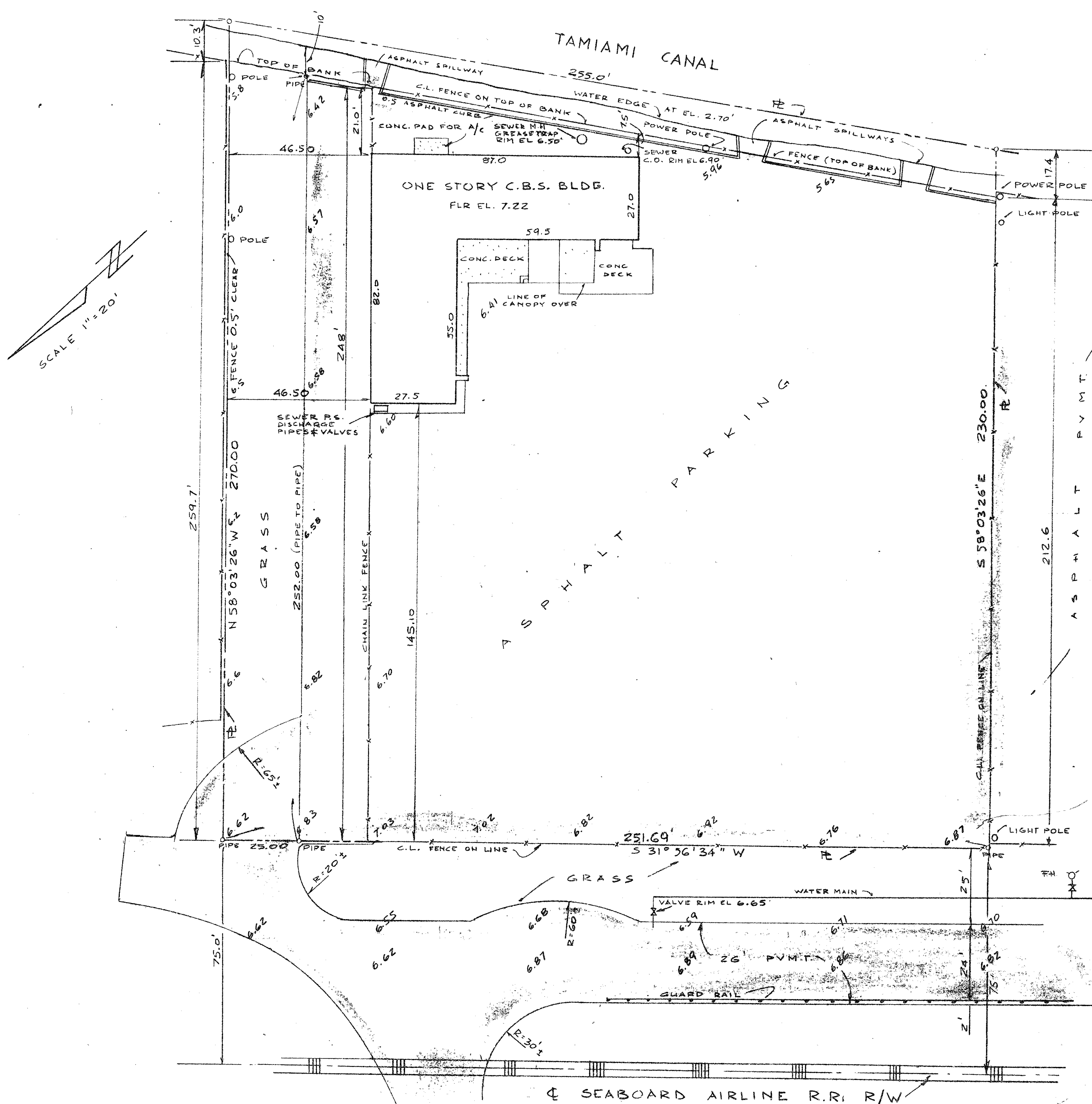
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Architecture • Planning • Interior Design
1992 S.W. 25th St., Suite 100, Fort Lauderdale, FL 33309 Telephone (305) 447-0564

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AT
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BUILDING 3074

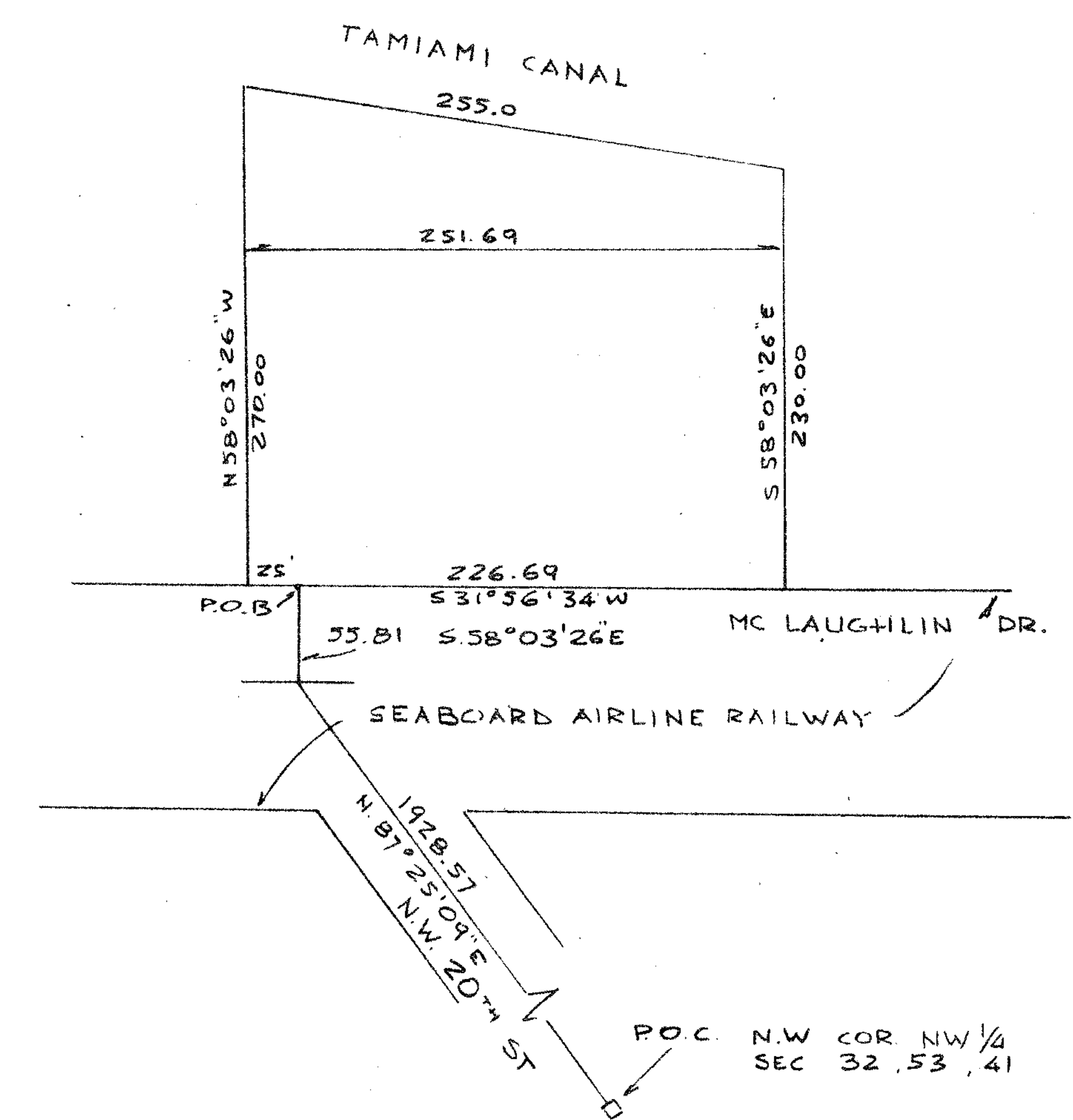
CLIENT APPROV	DATE	DATE	DATE	DATE
DRAWN	1-17-88	1-17-88	1-17-88	1-17-88
APPROVED				
ISSUED				
BY				
JOB NO.				

SITE PLAN
DRAWING NO. **E-1**

SKETCH OF SURVEY



SCALE 1"=20'



VICINITY SKETCH
N.T.S.

LEGAL DESCRIPTION:

COMMENCING AT THE N.W. CORNER OF NW 1/4 OF SECTION 32, TWP 53 S, RGE 41 E, THENCE N 87° 25' 09" E ALONG THE NORTH LINE OF SAID SEC. 32 FOR A DISTANCE OF 1928.57 FEET; THENCE S 58° 03' 26" E FOR 55.81 FEET TO A POINT OF THE SOUTHEASTERLY R.O.W OF THE SEABOARD AIRLINE RAILROAD AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREINAFTER DESCRIBED; THENCE S 31° 56' 34" W ALONG SOUTHEASTERLY R.O.W OF THE SEABOARD AIRLINE RAILROAD FOR 226.69 FEET; THENCE S 58° 03' 26" E FOR 230 FEET, MORE OR LESS, TO THE NORTHWESTERLY SHORELINE OF TAMAMI CANAL; THENCE NORTHEASTERLY ALONG NORTHWESTERLY SHORELINE OF TAMAMI CANAL FOR 255 FEET, MORE OR LESS, TO A POINT ON LINE 251.69 FEET DISTANT (AS MEASURED AT RIGHT ANGLES FROM THE SOUTHWESTERLY PARCEL LINE AS PREVIOUSLY DESCRIBED); THENCE N 58° 03' 26" W ALONG A LINE PARALLEL TO AND 251.69 FEET DISTANT FROM THE SOUTHWESTERLY PARCEL LINE , FOR 270 FEET TO THE SOUTHEASTERLY R.O.W OF SAID SEABOARD AIRLINE RAILROAD; THENCE S 31° 56' 34" W ALONG THE SOUTHEASTERLY R.O.W OF SAID SEABOARD AIRLINE RAILROAD FOR 25 FEET TO THE POINT OF BEGINNING, SAID PARCEL OF LAND LYING AND BEING IN THE NW 1/4 OF SECTION 32, TWP 53 S, RGE 41 E, DADE COUNTY , FLORIDA AND CONTAINING 1.44 ACRES, MORE OR LESS.

SURVEYOR'S CERTIFICATION
 I HEREBY CERTIFY THAT THE ATTACHED "SKETCH OF SURVEY" IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED UNDER MY DIRECTION AND THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS PERSUANT TO CHAPTER 472.027 OF THE FLORIDA STATUTES.

Mark Krajnik
 MARK KRAJNIK
 P.L.S No. 3371
 STATE OF FLORIDA

NOTE: NOT VALID UNLESS SEALED WITH THE SURVEYOR'S SEAL.

NOTE: ELEVATIONS SHOWN HEREON REFER TO N.C.V.D. (M.S.L).

SURVEY FOR: DOBBS HOUSES, INC.		
SCALE: AS SHOWN	APPROVED BY:	DRAWN BY: J.C.
DATE: 10-14-85		REVISED: MMK
TASNIH UDDIN & ASSOCIATES INTERNATIONAL, INC.		
CONSULTING ENGINEERS - PLANNERS - SURVEYORS		
7811 Coral Way • Suite 136 • Miami, Fla 33155		
REV. OCT 28, 1985		DRAWING NUMBER SU-1

20010

DATE	APPROVED
DATE	APPROVED
DATE	APPROVED
DATE	APPROVED
DATE	APPROVED

TINNEY-RUIZ & PARTNERS, P.A.
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 3032 SW 24th ST., MIAMI, FLORIDA 33135 Telephone (305) 441-0268

COMMISSARY FOR:
DOBBS HOUSES INC.
 AT
BUILDING 3074
 MIAMI INTERNATIONAL AIRPORT

COMMISSARY FOR:
DOBBS HOUSES INC.
 AT
BUILDING 3074
 MIAMI INTERNATIONAL AIRPORT

CLIENT	DATE
APPROVED	DATE
DRAWN	DATE
ISSUED	DATE
1-21-86	DATE
85-23	DATE
JOB NO.	

SITE PLAN
 DRAWING NO. LI 001

PLANT LIST

SYM	MATERIAL	SPECIFICATIONS	UNIT	QTY
SP	Sabal Palmetto	staggered height	EA	27
	Sabal palm	see plan		
VS	Viburnum suspensum	3 gallon, 24" H x 18"	EA	185
	Viburnum	24" O.C.		
CS	Cortaderia selloana 'nana'	3 gallon, 18" x 18"	EA	115
	dwarf red rampas grass	24" O.C.		
SOD	Solid Bahia Sod	see specifications	MSF	5.2
PE	Ptychosperma elegans	7-10" H, staggered	EA	2
	Macarthur palm	3 heads		
NG	Isora spp. 'Wora Grant'	3 gallon, 18" x 18"	EA	21
	Isora	24" O.C.		
RE	Russelia equisetiformis	3 gallon, 18" x 18"	EA	25
	Russelia	24" O.C.		
WT	Wedelia trilobata	6" R/C @ 3/5F	MSF	5.6

IRRIGATION LEGEND

- K-RAIN SELF INDEXING VALVE WITH APPROVED VACUUM BREAKER AND TIMER
- TORO 570P-15-F POP-UP SPRAY SPRINKLER
- TORO 570P-15-H POP-UP SPRAY SPRINKLER
- TORO 570P-15-Q POP-UP SPRAY SPRINKLER
- TORO 570P-15-9 SST POP-UP SPRAY SPRINKLER
- TORO 570P-15-4 SST POP-UP SPRAY SPRINKLER
- TORO 514-30 SHRUB BUBBLER
- SCHEDULE 40 PVC IRRIGATION SLEEVE
- IRRIGATION DISTRIBUTION LINE

GENERAL IRRIGATION NOTES:

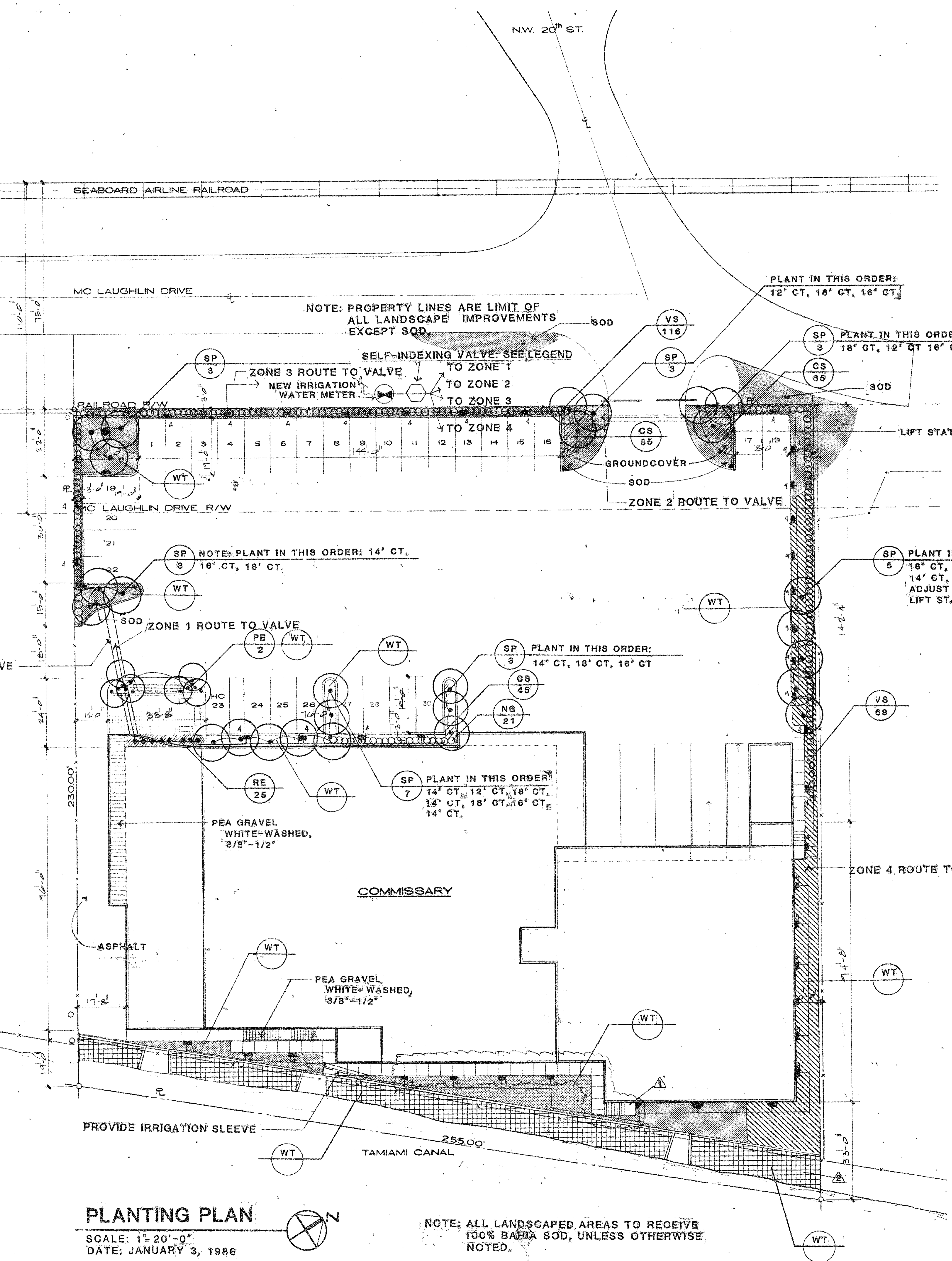
1. HEAD LOCATION APPROXIMATE. CONTRACTOR TO PROVIDE 100% COVERAGE OF ALL LANDSCAPED AREAS EXCEPT AS SHOWN.
2. ZONE DISTRIBUTION PIPE PARTIALLY SHOWN. MAXIMUM WATER VELOCITY NOT TO EXCEED 5 FPS. MINIMUM PIPE SIZE 3/4" PVC.
3. ZONE LAYOUT AND HEAD SELECTION ASSUMES WATER AVAILABLE AT 45 PSI, 30 GPM.
4. LOCATE CONTROL TIMER AS DIRECTED BY ARCHITECT.
5. MINIMUM COVER SCHEDULE: 12" DISTRIBUTION LINES, 18" UNDER PAVEMENT.

LEGEND

- EXISTING ASPHALT AND SUBGRADE TO BE REMOVED, DOWN TO NATURAL GRADE, AREA OF NEW LANDSCAPING.
- EXISTING SOD TO BE REMOVED, AREA OF NEW LANDSCAPING.
- EXISTING PLANT MATERIAL TO BE REMOVED, AREA OF NEW LANDSCAPING.

GENERAL LANDSCAPE NOTES:

1. ALL LANDSCAPE MATERIAL TO MEET METRO DADE STANDARDS.
2. ALL PLANT MATERIAL TO BE FLORIDA #1 OR BETTER.
3. PROVIDE 2 1/2" SHREDDED CYPRESS MULCH GRADE "B" IN ALL PLANTING AREAS.
4. PROVIDE SOLID BAHIA SOD IN ALL LANDSCAPE AREAS UNLESS OTHERWISE NOTED.



PLANTING PLAN

SCALE: 1" = 20'-0"
 DATE: JANUARY 3, 1986



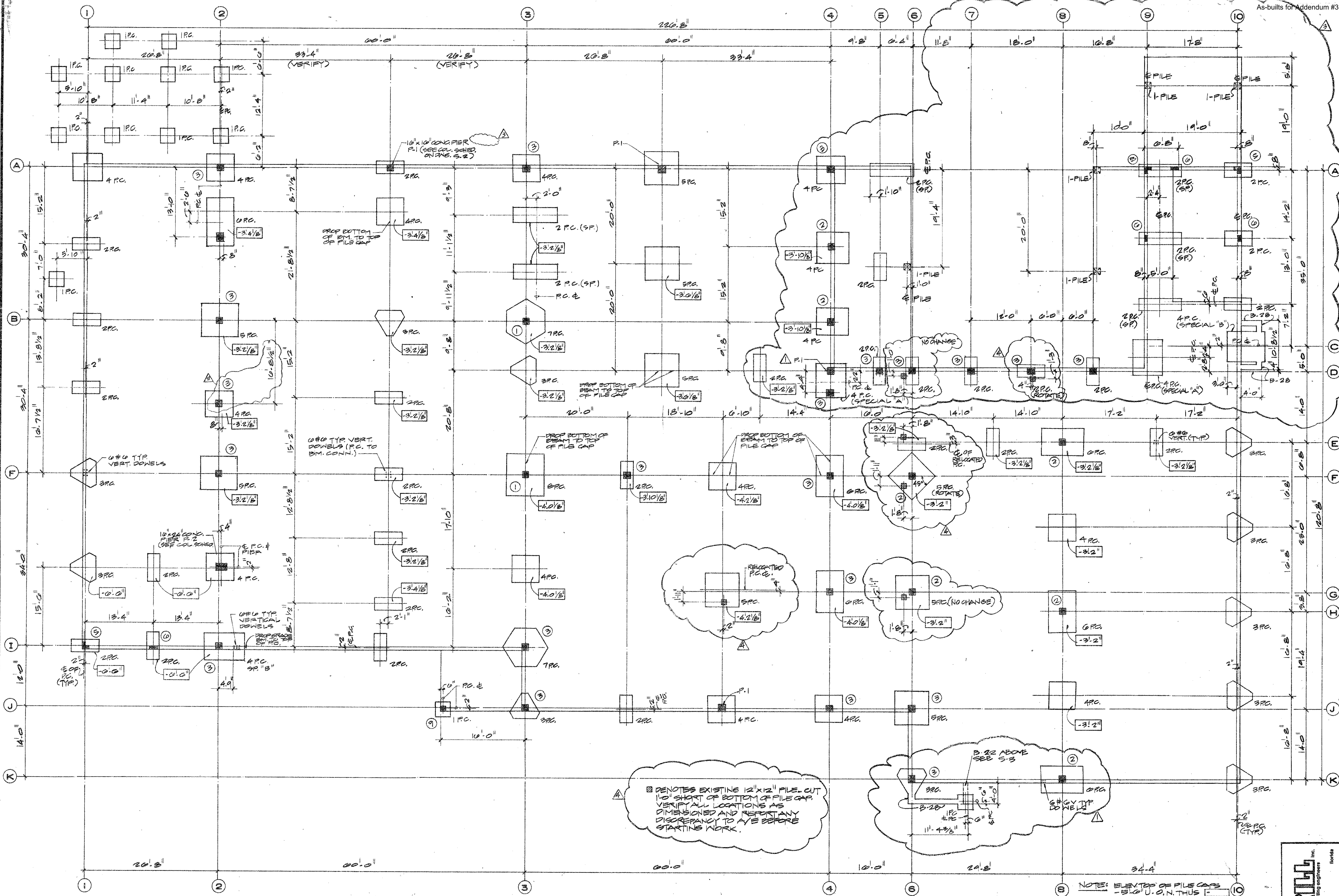
NOTE: ALL LANDSCAPED AREAS TO RECEIVE 100% BAHIA SOD, UNLESS OTHERWISE NOTED.

EPD

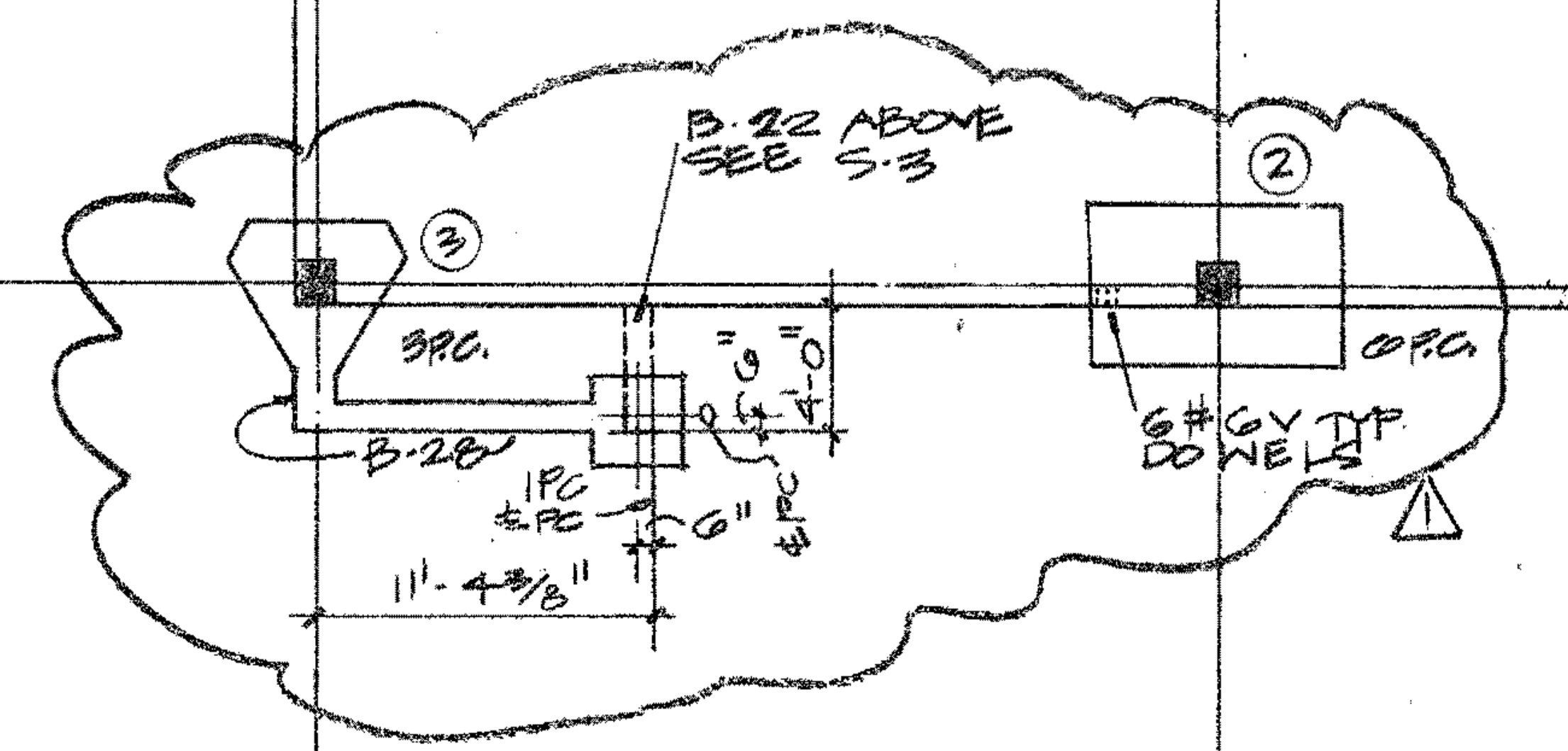
ENVIRONMENTAL PLANNING AND DESIGN
 URBAN • COMMUNITY • AND RECREATION PLANNING
 13965 NW 67th AVENUE MIAMI LAKES, FLORIDA 33014
 TELEPHONE (305) 821-1000

LAND PLANNING

20010



□ DENOTES EXISTING 12"X12" PILE CUT
 1'-0" SHORT OF BOTTOM OF PILE CAP.
 VERIFY ALL LOCATIONS AS
 DIMENSIONED AND REPORT ANY
 DISCREPANCY TO A/E BEFORE
 STARTING WORK.



NOTES: ELEV. TOP OF PILE CAPS
 -3.0' U.O.N. THUS

FOUNDATION PLAN
 1/8" = 1'-0"

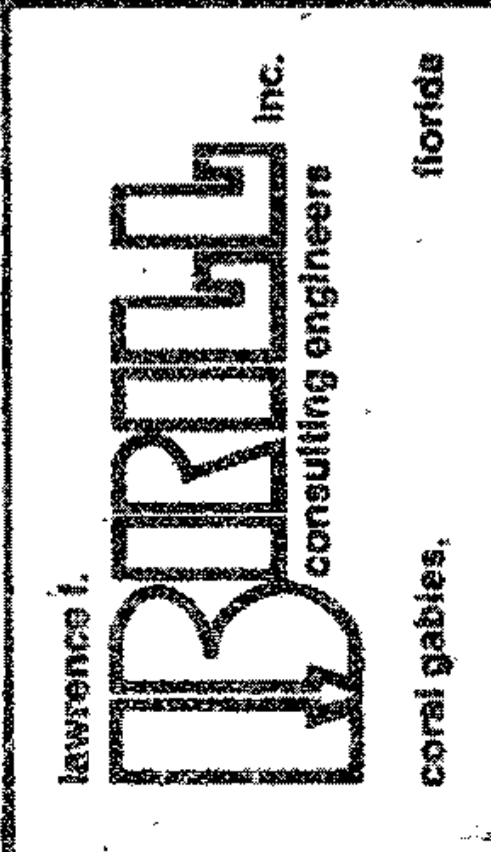
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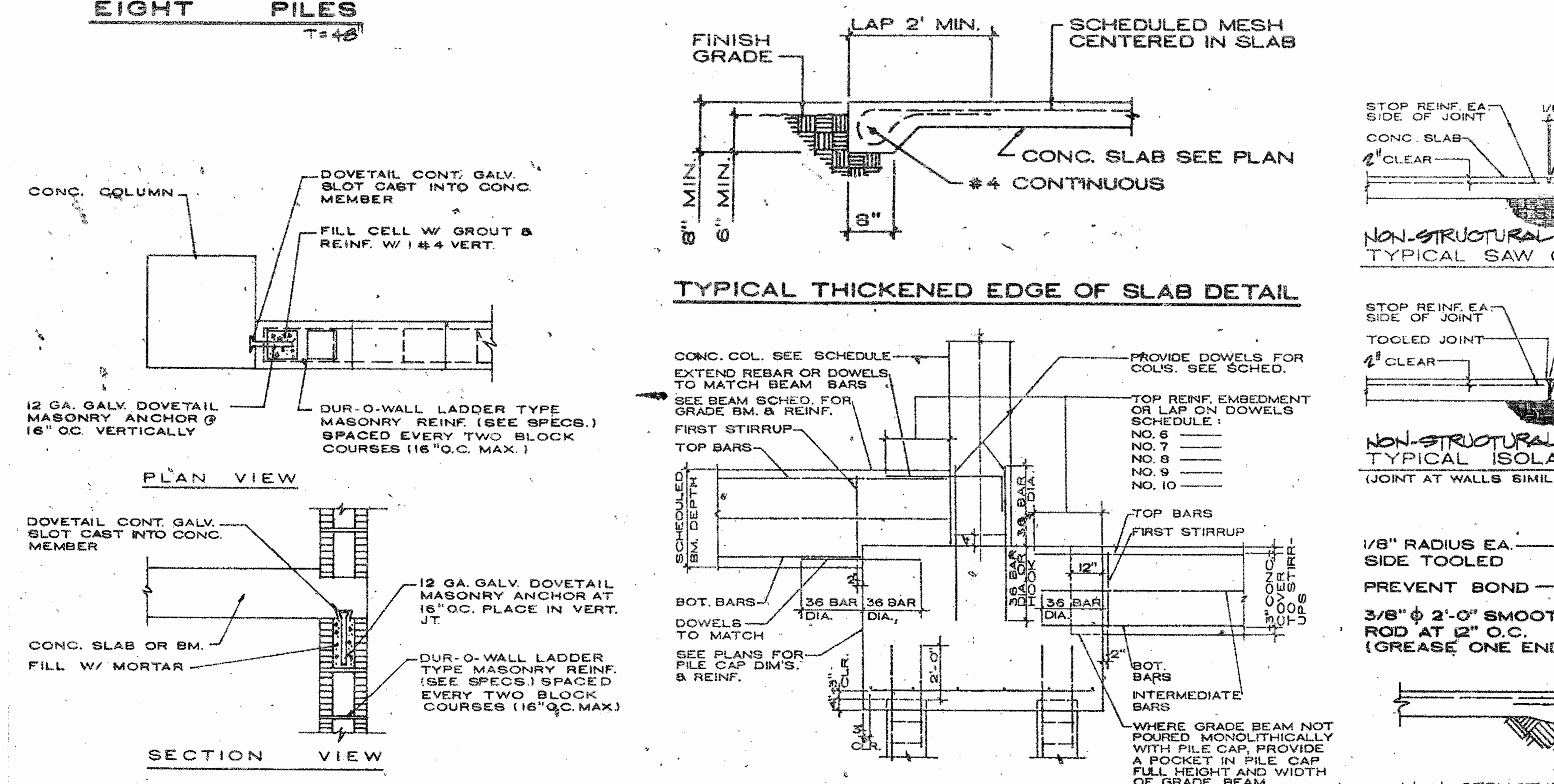
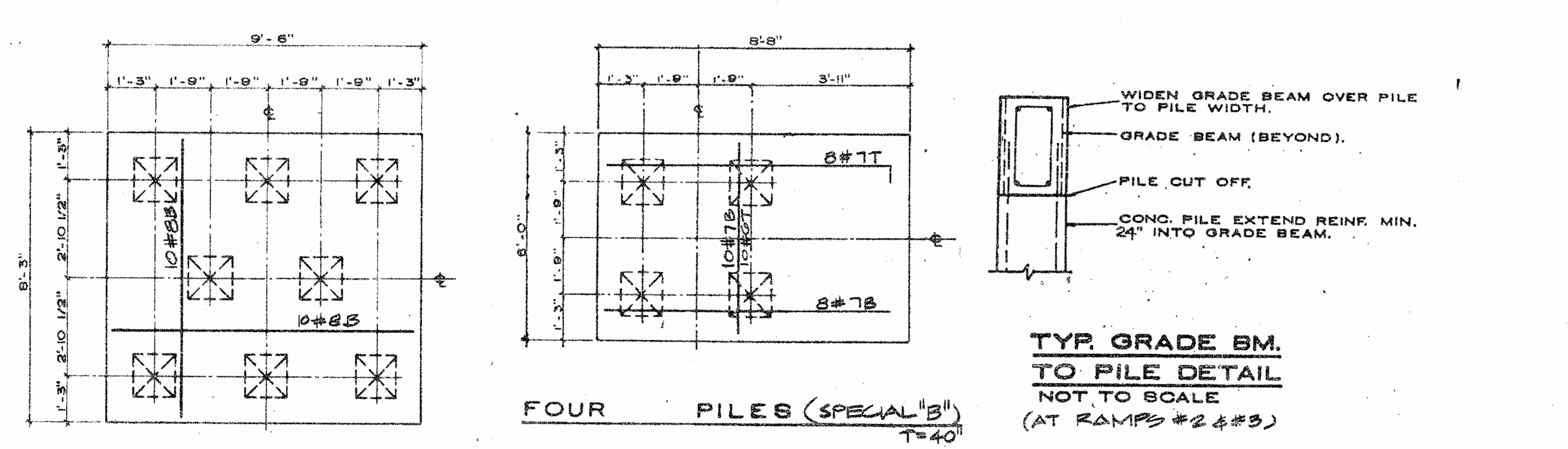
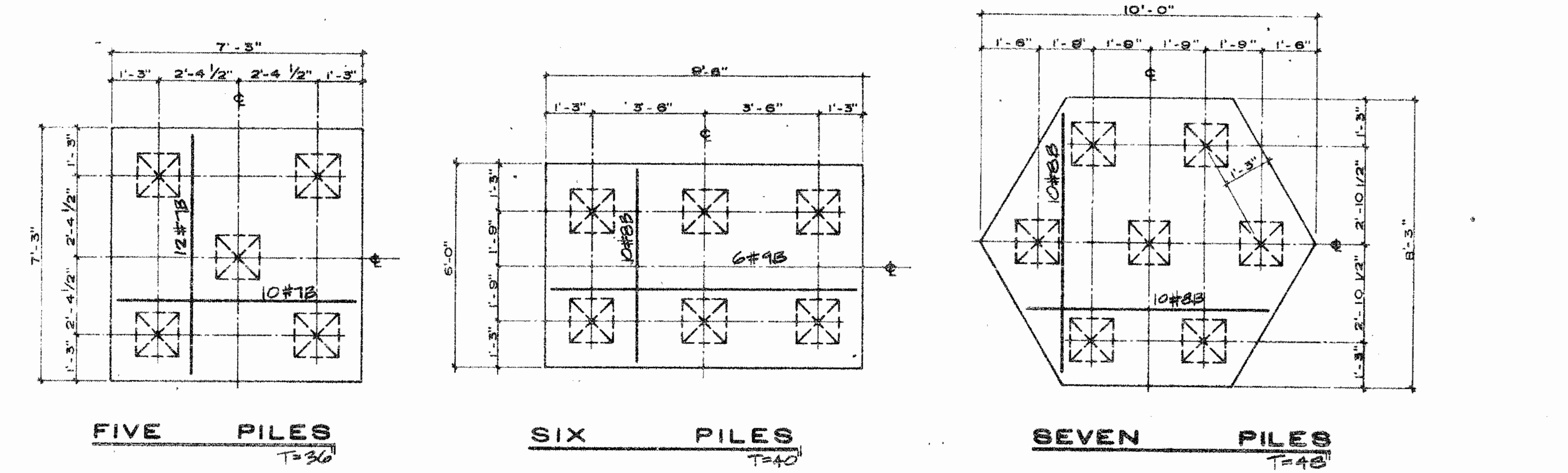
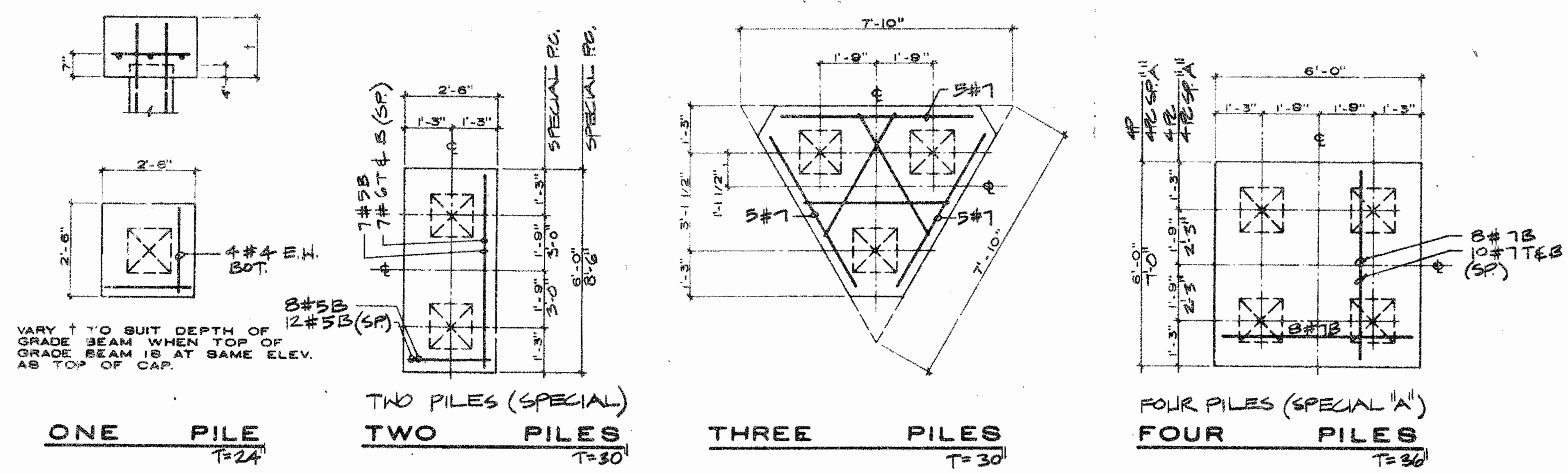
REVISION NO.	DATE	DESCRIPTION
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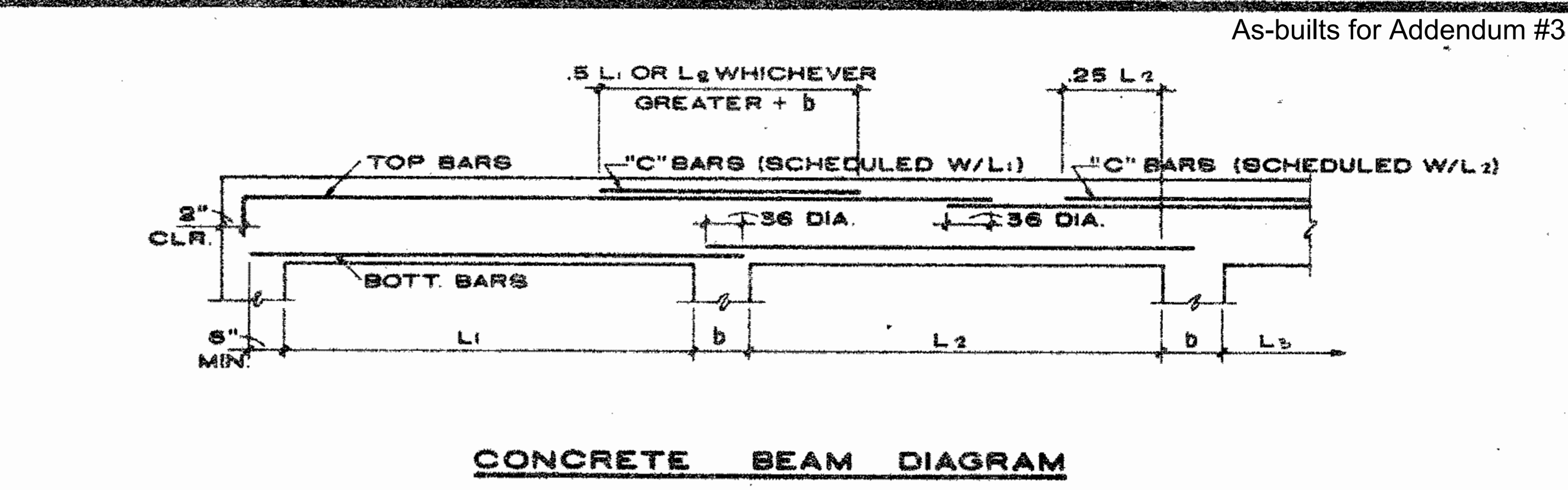
COMMISSARY FOR:
DOBBS HOUSES INC.
 AT
MIAMI INTERNATIONAL AIRPORT

CLIENT	DATE	APP'D
PR	1-20-86	
DR	1-20-86	
AP	1-20-86	
ISS	1-21-86	
JOB NO.	85-23	

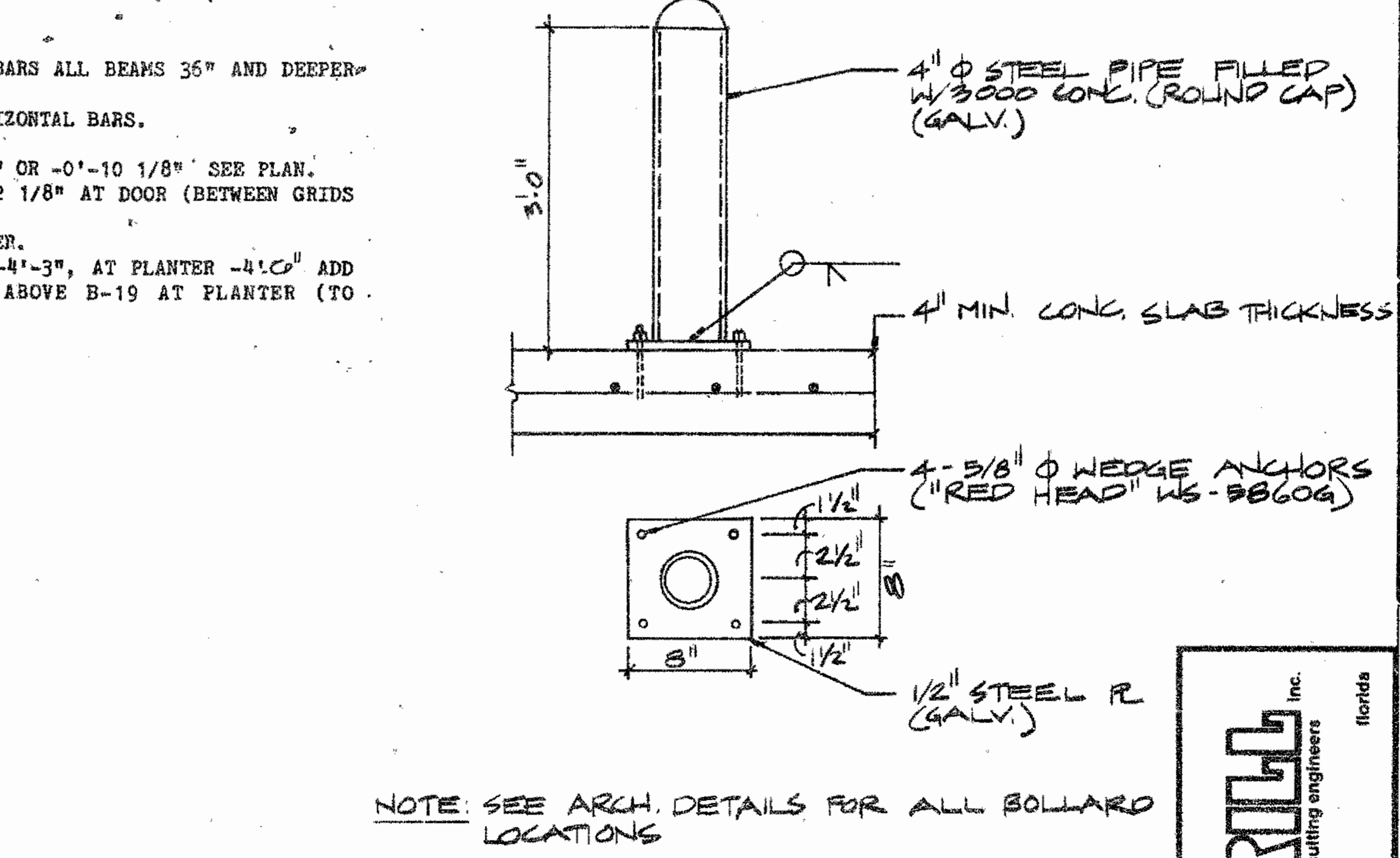
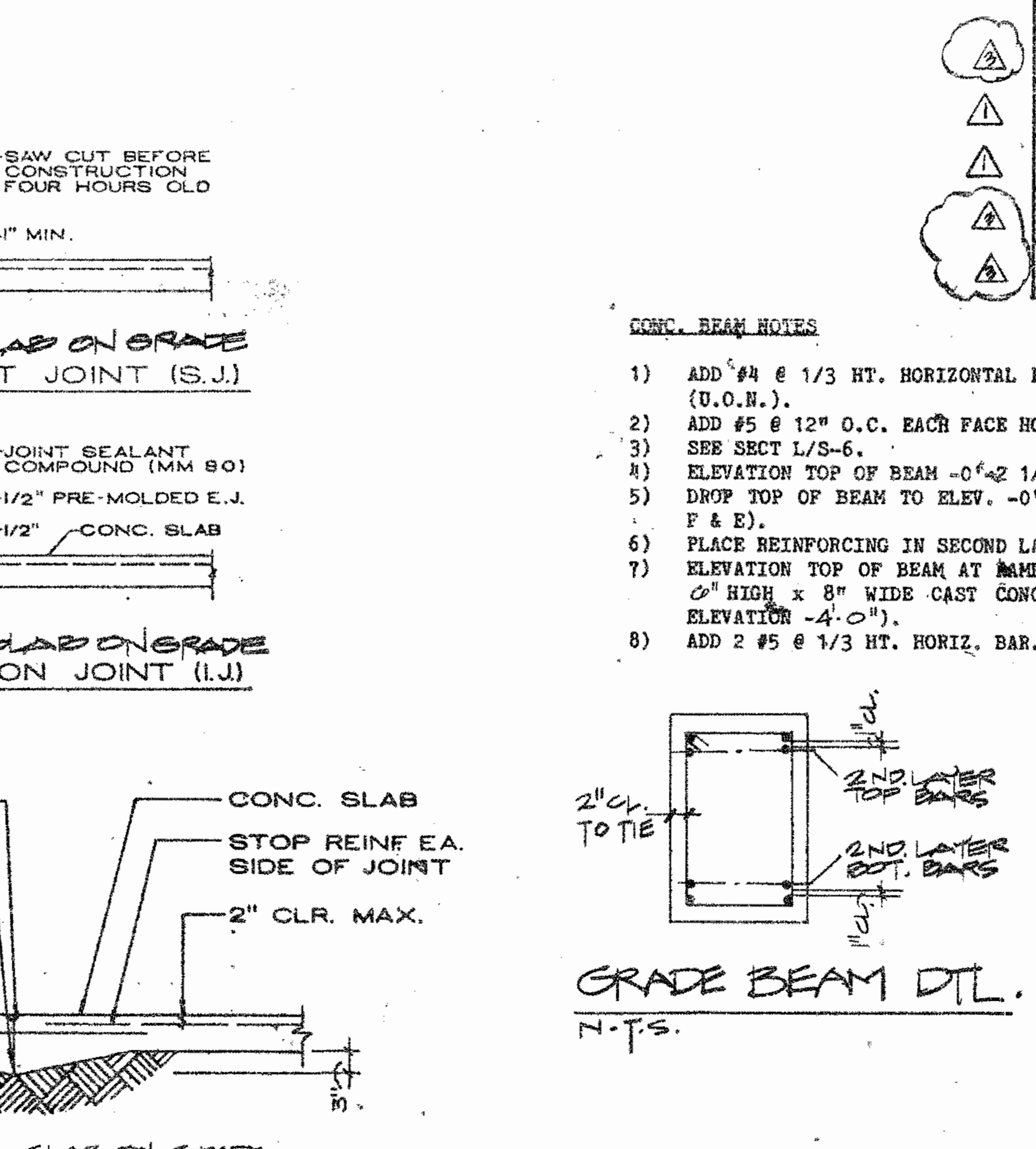
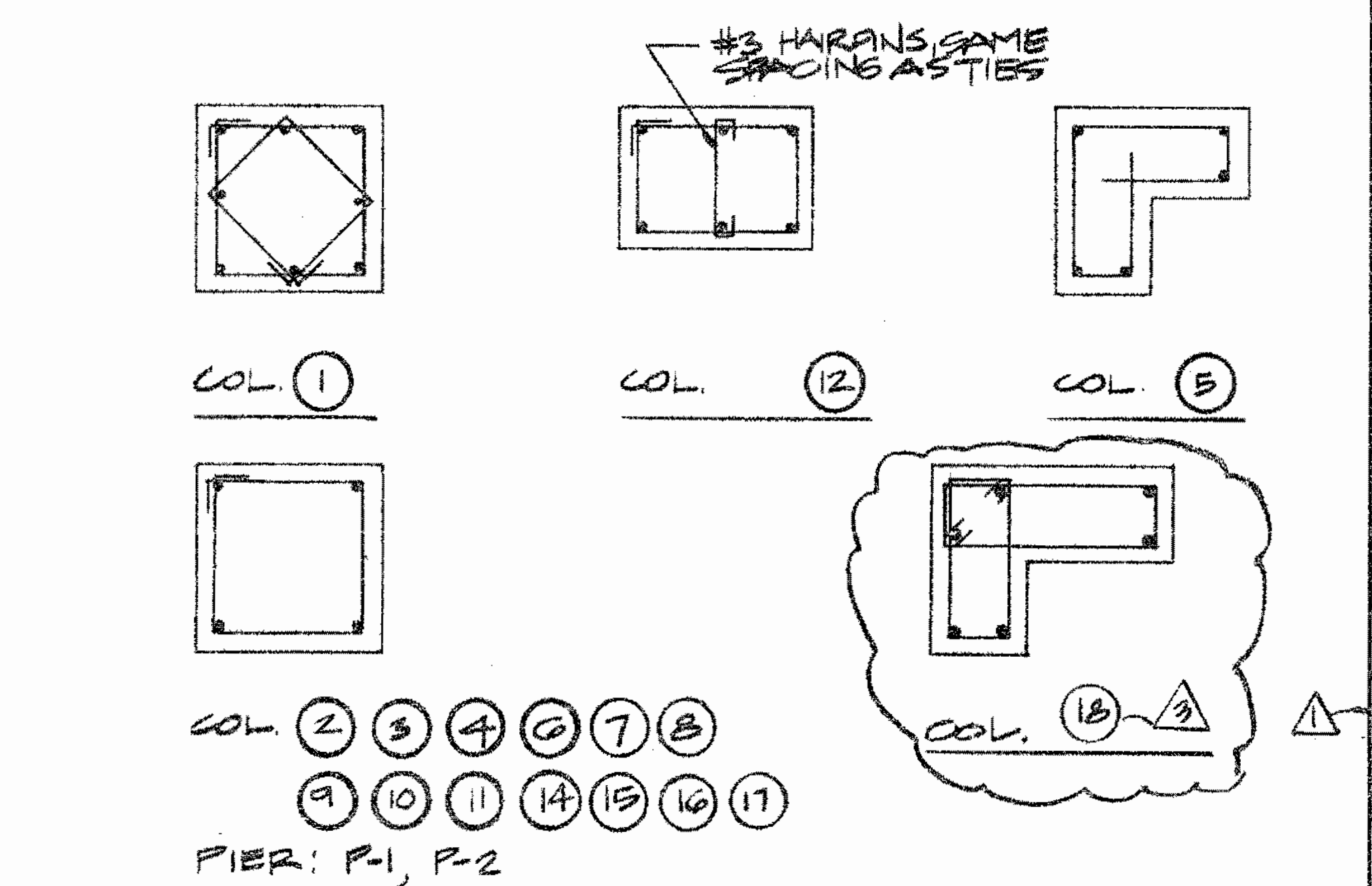




COLUMN SCHEDULE				
MARK	TYPE	SIZE	RS OR REINF.	REMARKS
1	CONC.	10x16	8#10V, 3#5@16	
2	CONC.	10x16	4#11V, 3#5@16	
3	CONC.	10x16	4#8V, 3#5@16	
4	CONC.	12x12	4#8V, 3#5@12	
5	CONC.	8x16x16	3#4V, 3#5@8	
6	CONC.	8x16	4#6V, 3#5@8	
7	CONC.	8x12	4#5V, 3#5@8	
8	CONC.	12x12	4#6V, 3#5@12	
9	CONC.	12x12	4#7V, 3#5@12	
10	CONC.	8x19 1/2	4#0V, 3#5@8	
11	CONC.	10x12	4#7V, 3#5@12	
12	CONC.	10x12	6#7V, 3#5@12	
13	STEEL	AXAX 1/2"	1/2" THICK BASE & CAP PL'S	BOT. ANCH. TO CONC. 2'-12" @ 12" LONG. U.B.T.
14	CONC.	8x13	4#6V, 3#5@8	UP TO ELEV. +11.0'
15	CONC.	8x24	4#6V, 3#5@8	
16	CONC.	8x14	4#0V, 3#5@8	
17	CONC.	8x20	4#0V, 3#5@8	
18	CONC.	8x16x20	7#0V, 3#5@8	
P-1	CONC.	16x16	4#8V, 3#5@12	
P-2	CONC.	16x24	4#9V, 3#5@12	



CONCRETE BEAM SCHEDULE									
MARK	ELEV. TOP OF BEAM	SIZE	REINFORCING			# 3 TIES (U.O.N.I.)	REMARKS		
			W	D	BOTT. TOP C				
B.1	-0.2/6	10" 30"	4#8	3#9	1#9	10@12" BAL. @ 12" O.C.	NOTE #1		
B.2	-0.2/6	10" 30"	3#8	3#8		8@12" O.C.	NOTE #1		
B.3	-0.10/6	10" 50"	3#9	3#9		4@12" O.C.	NOTE #2		
B.4	-0.10/6	10" 38"	3#9	3#9	1#9	4@10@12" BAL. @ 12" O.C.	NOTE #1		
B.5	-0.2/6	12" 36"	3#8	2#7		8@12" O.C.	NOTE #3		
B.6	*	10" 40"	3#10	5#10		4@12@12" BAL. @ 12" O.C.	*NOTE #4		
B.7	-1.0/6	10" 30"	4#9	4#9	1#9	4@10@12" BAL. @ 12" O.C.	NOTE #1		
B.8	-0.10/6	10" 30"	3#9	3#9		12@12" BAL. @ 12" O.C.	NOTE #1		
B.9	10.0	10" 30"	4#9	4#9		4@12" O.C.	NOTE #2		
B.10	10.0	10" 38"	3#9	3#9	2#9	4@12@12" BAL. @ 12" O.C.	NOTE #1 NOTE #5		
B.11	10.0	10" 38"	4#9	4#9		4@12@12" BAL. @ 12" O.C.			
B.12	-0.10/6	10" 30"	4#10	3#9		12@12" BAL. @ 12" O.C.			
B.13	-0.10/6	10" 30"	4#10	3#9	2#9	12@12" BAL. @ 12" O.C.			
B.14	-0.2/6	10" 30"	3#8	2#8		8@12" O.C.			
B.15	10.0	12" 30"	3#9	3#9		4@12" O.C.	NOTE #2		
B.16	-0.2/6	12" 30"	3#9	3#9		4@12" O.C.	NOTE #2		
B.17	-0.10/6	12" 50"	2#9	2#9	2#9	4@12" O.C.	*NOTE #6 NOTE #2		
B.18	-4.0	12" 18"	4#9	2#7		10@5" BAL. @ 8"			
B.19	*	8" 16"	2#6	2#6		8@12" O.C.	*NOTE #7		
B.20	-0.1	12" 30"	3#9	3#9		4@12" O.C.	NOTE #2		
B.21	-0.2/6	12" 10"	2#7	2#6		6@12" O.C.			
B.22	-4.3	12" 15"	2#7	2#7		6@12" O.C.			
B.23	-4.2/6	12" 16"	3#7	3#7		8@12" BAL. @ 12"			
B.24	-4.0	10" 24"	4#9	3#8		4@12" O.C.			
B.25	-4.5	10" 24"	3#8	3#8		8@12" O.C.			
B.26	-0.2/6	10" 34"	4#9	4#9		4@12" O.C.	NOTE #2		
B.27	-4.3	10" 27"	3#9	3#9		4@12" O.C.	NOTE #8		
B.28	-5.0	12" 20"	3#7	3#7		8@12" O.C.			
B.29	-4.3	10" 27"	4#9	4#9		4@12" O.C.	NOTE #8		
B.30	-4.3	12" 24"	3#7	2#6		8@12" O.C.			
B.31	-0.1	8" 16"	2#6	2#6		8@12" O.C.			
B.32	-4.3	10" 27"	3#8	3#8		4@12@12" BAL. @ 12" O.C.	NOTE #8		
B.33	-4.3	10" 24"	2#8	2#8		4@12" O.C.			



CONCRETE BEAM NOTES

- ADD #4 @ 1/3 HT. HORIZONTAL REBARS ALL BEAMS 36" AND DEEPER (U.O.N.I.).
- ADD #5 @ 12" O.C. EACH FACE HORIZONTAL BARS.
- SEE SECT L/S-6.
- ELEVATION TOP OF BEAM -0'-2 1/8" OR -0'-10 1/8" SEE PLAN.
- DROP TOP OF BEAM TO ELEV. -0'-2 1/8" AT DOOR (BETWEEN GRIDS F & E).
- PLACE REINFORCING IN SECOND LAYER.
- ELEVATION TOP OF BEAM AT WHP +1'-3", AT PLANTER -4'-0" ADD 6" HIGH x 8" WIDE CAST CONC. ABOVE B-19 AT PLANTER (TO ELEVATION -4'-0").
- ADD 2 #5 @ 1/3 HT. HORIZ. BAR.

As-builts for Addendum #3

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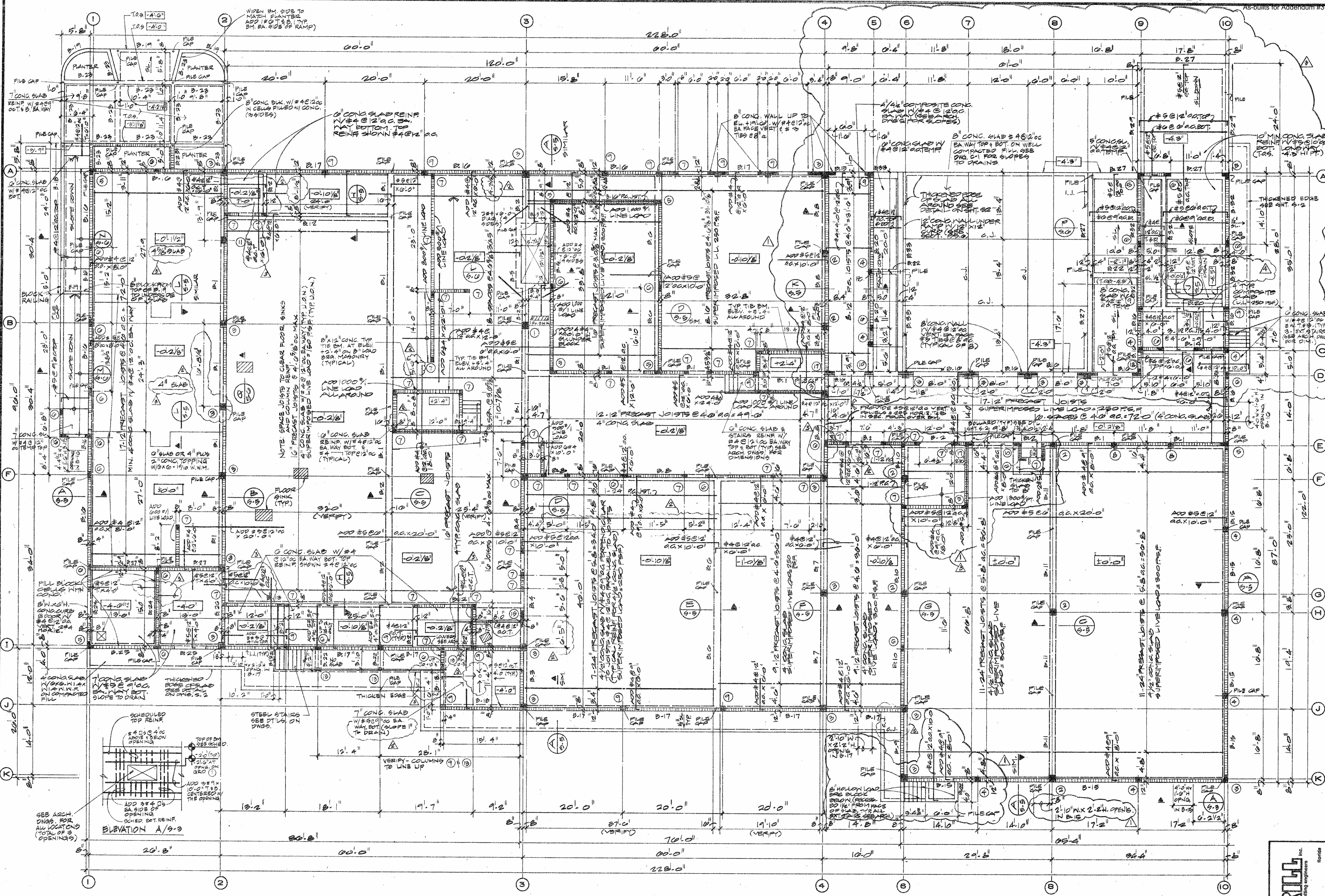
COMMISSARY FOR:
DOBBS HOUSES INC.
AT
BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

DATE APP'D: 1-20-88
DATE: 1-20-88
DATE: 1-21-88
DATE: 2-2-88

CLIENT: PK
DRAWN: LFB
APPROVED: FOR ISSUED
ISSUED: 2-2-88
JOB NO.

BRILL CONSULTING ENGINEERS
INC. florida

DRAWING NO. S-2 OF 8



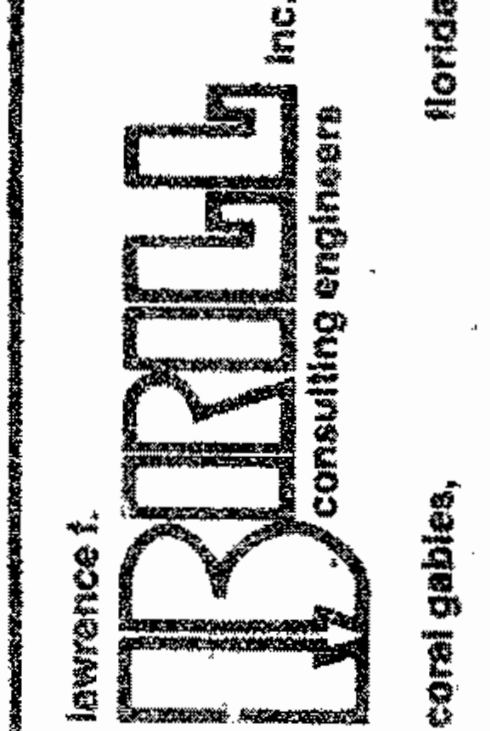
FLOOR FRAMING PLAN
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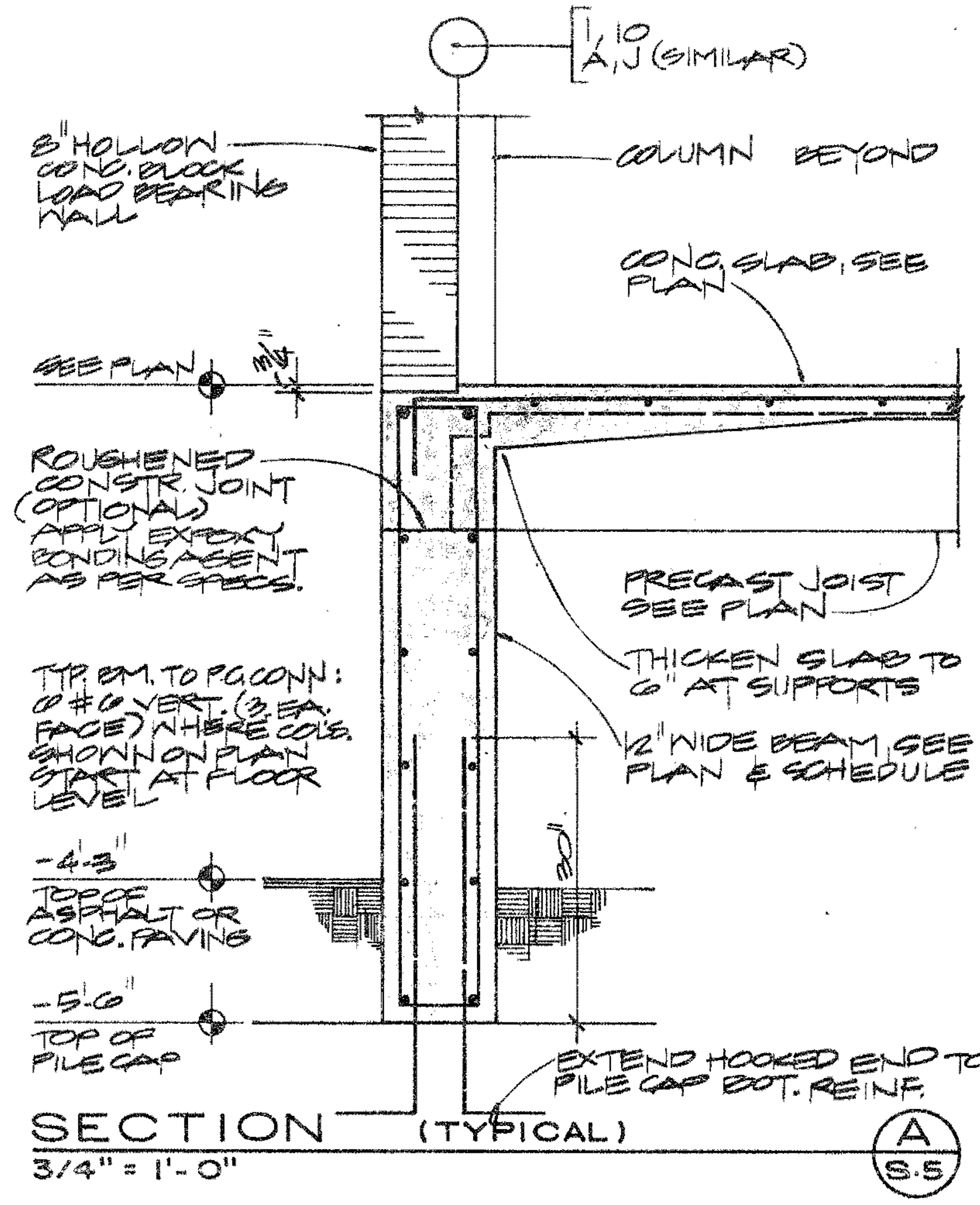
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10	ADDED FOR ADDENDUM #3

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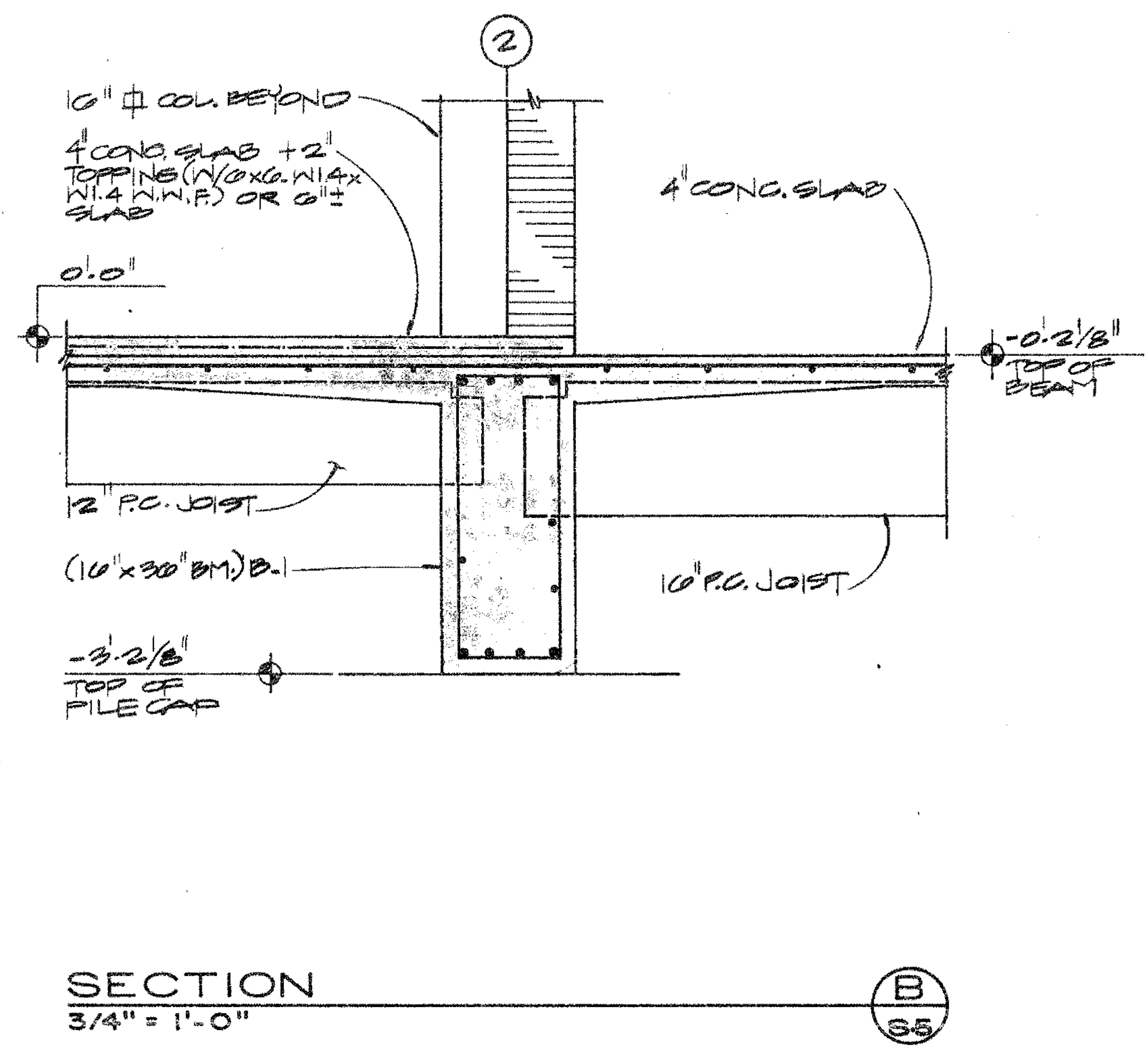
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CLIENT APPRO	DATE
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APPROVED	DATE
ISSUED	DATE
JOB NO.	

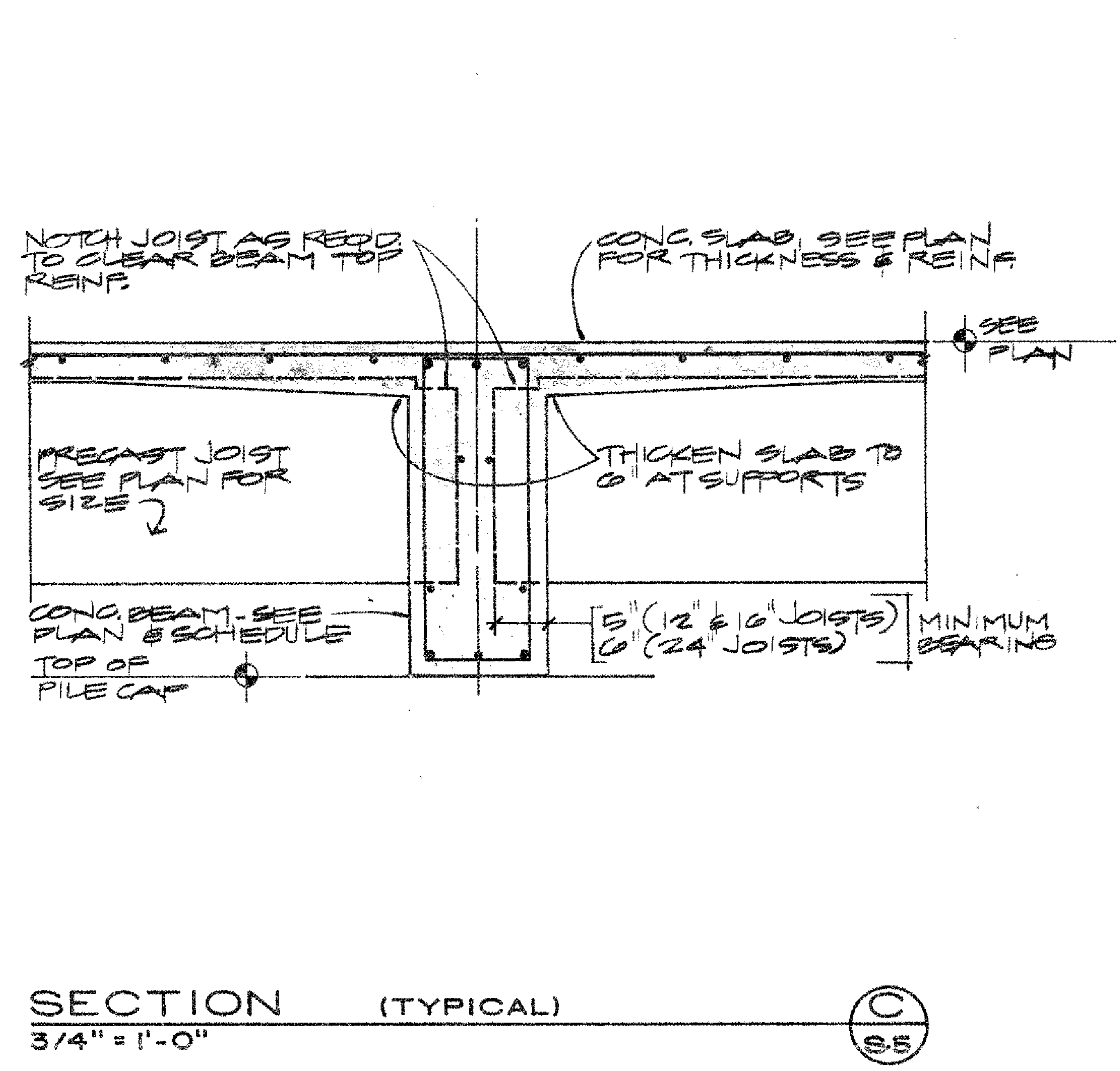




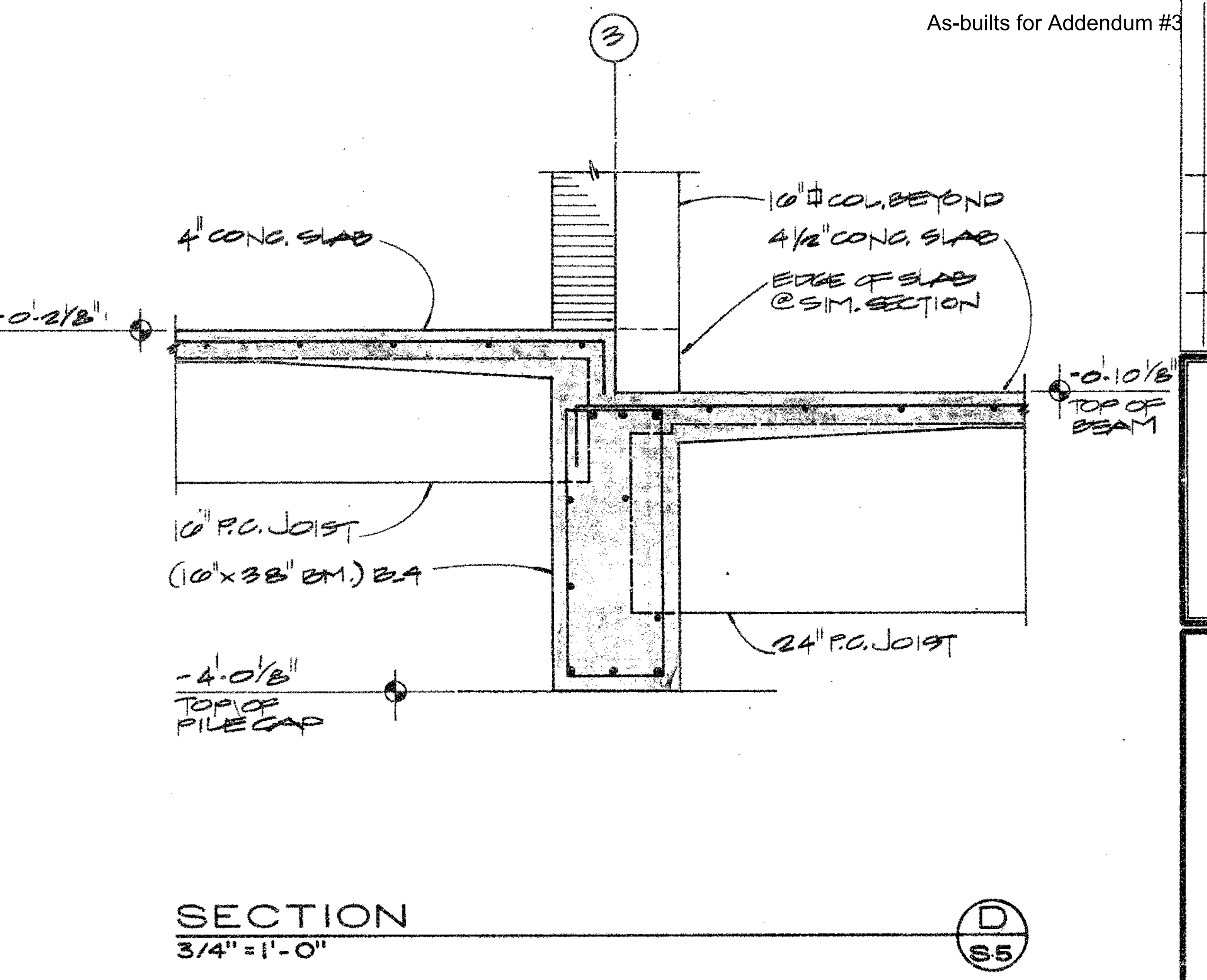
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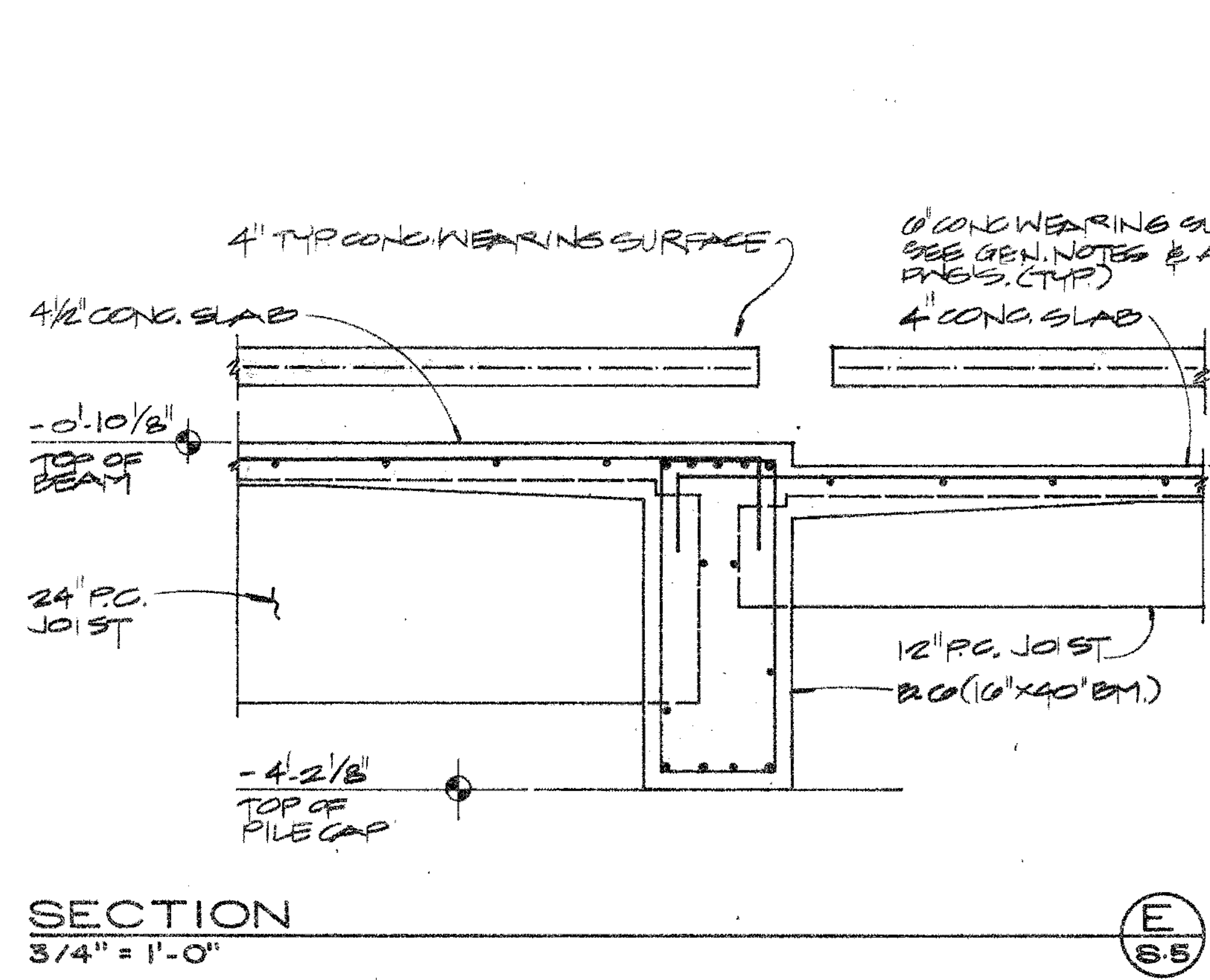
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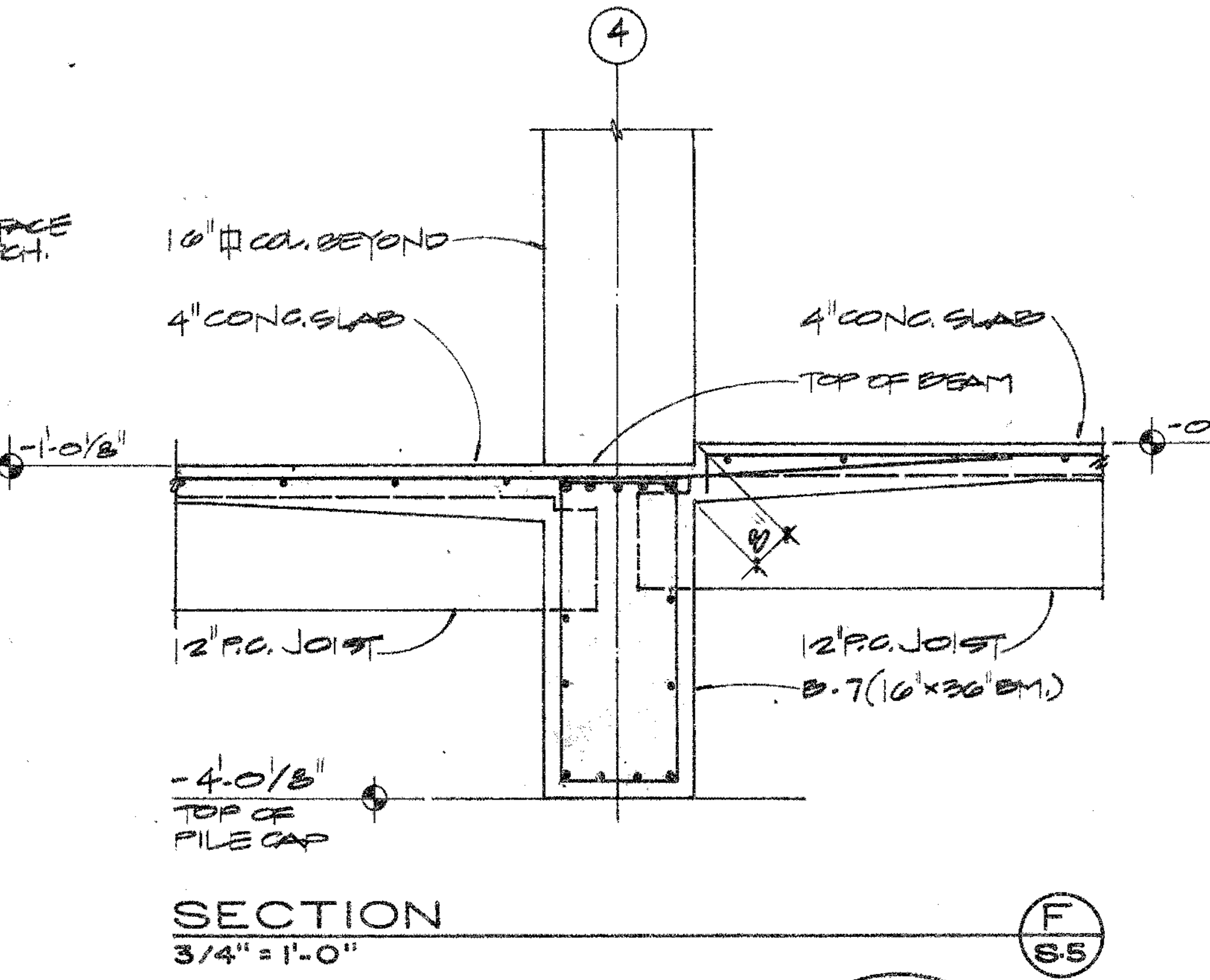
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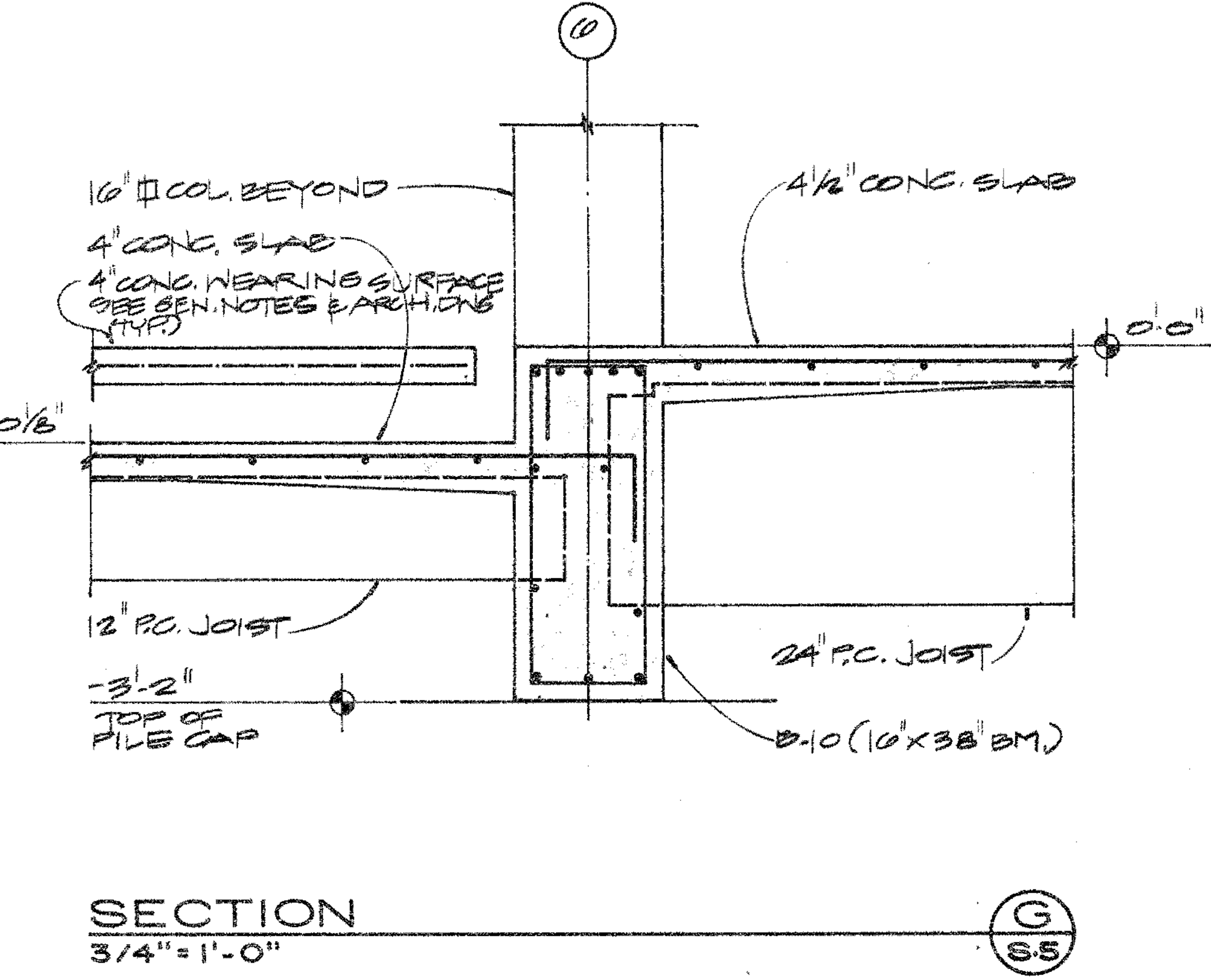
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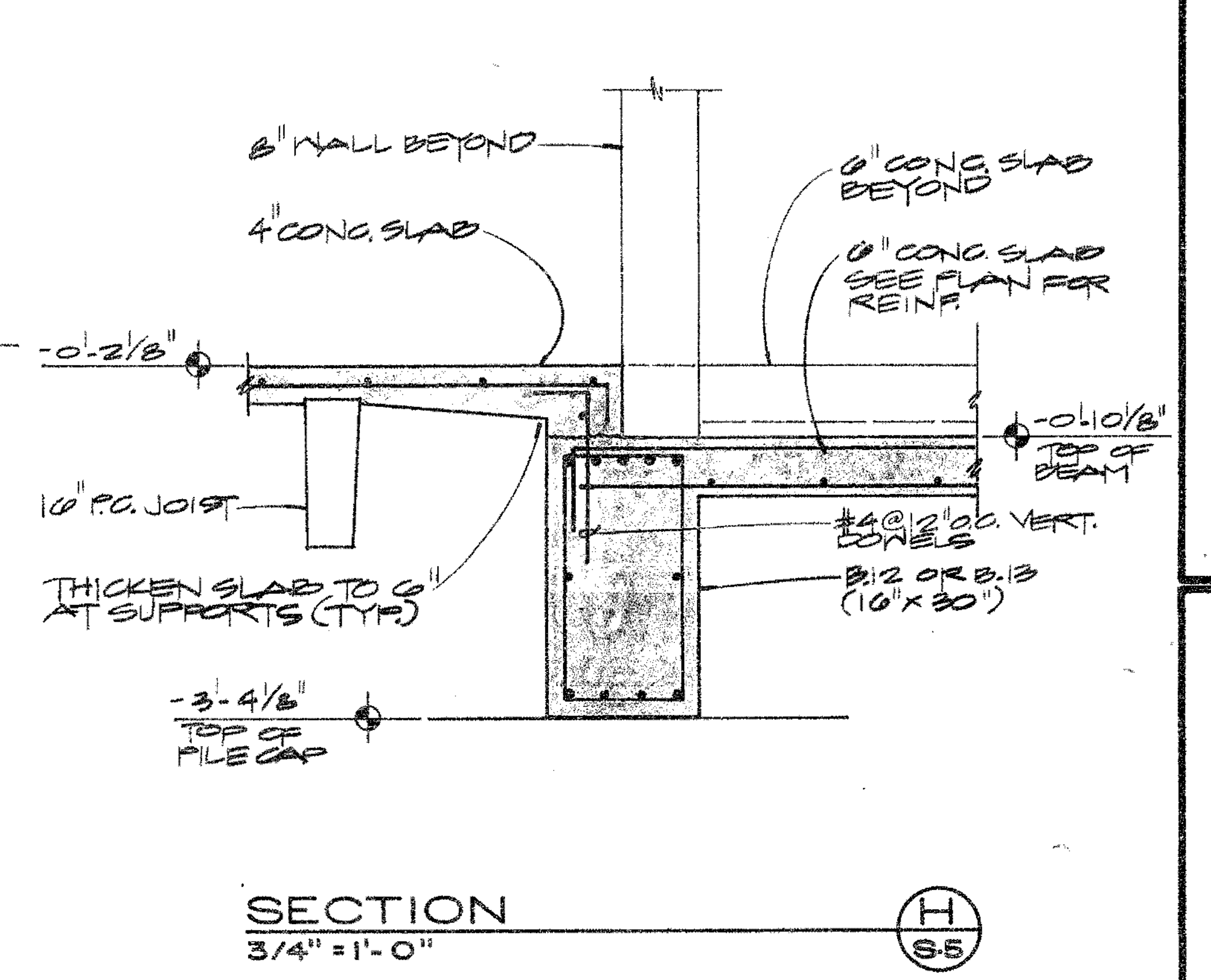
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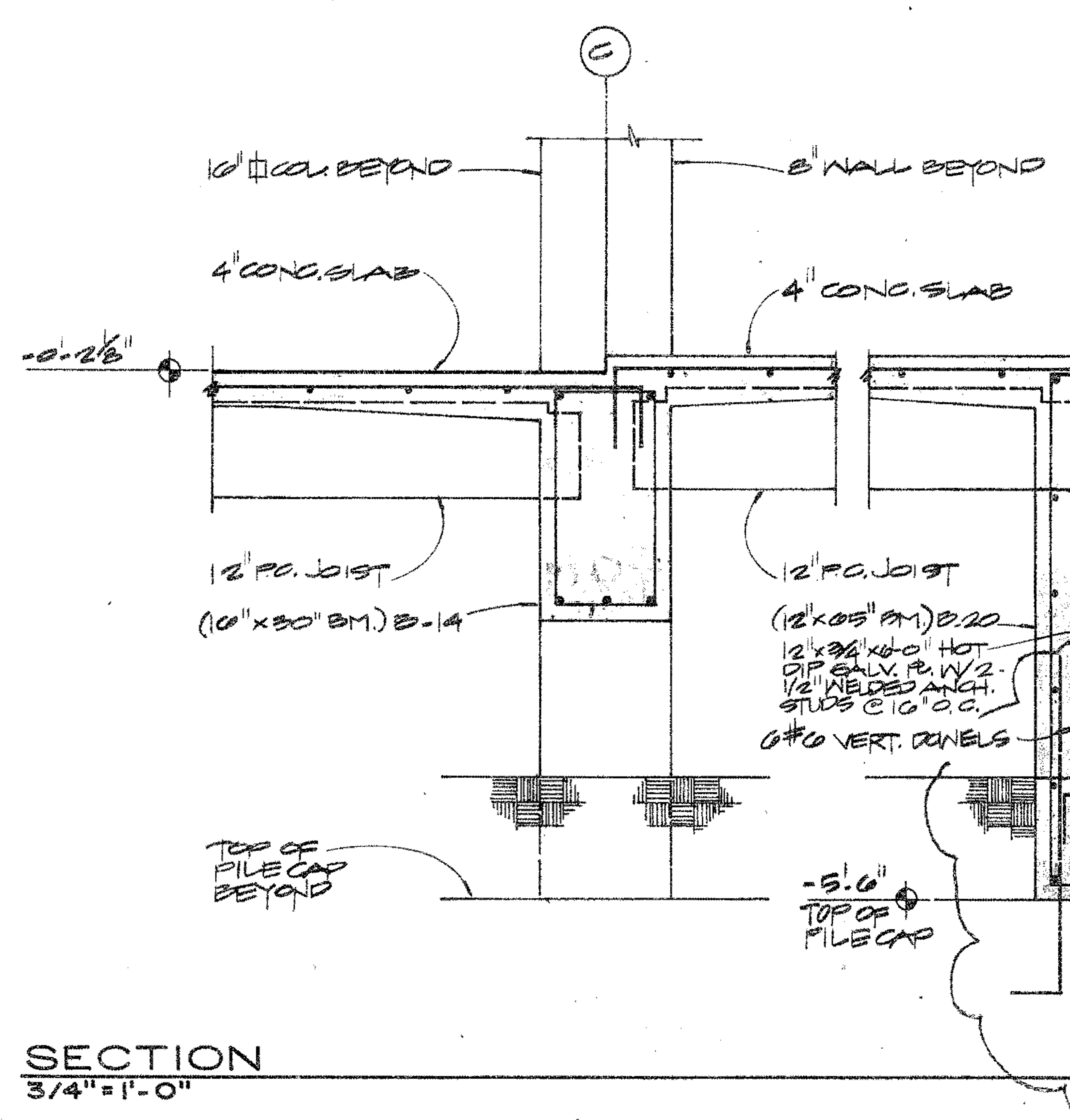
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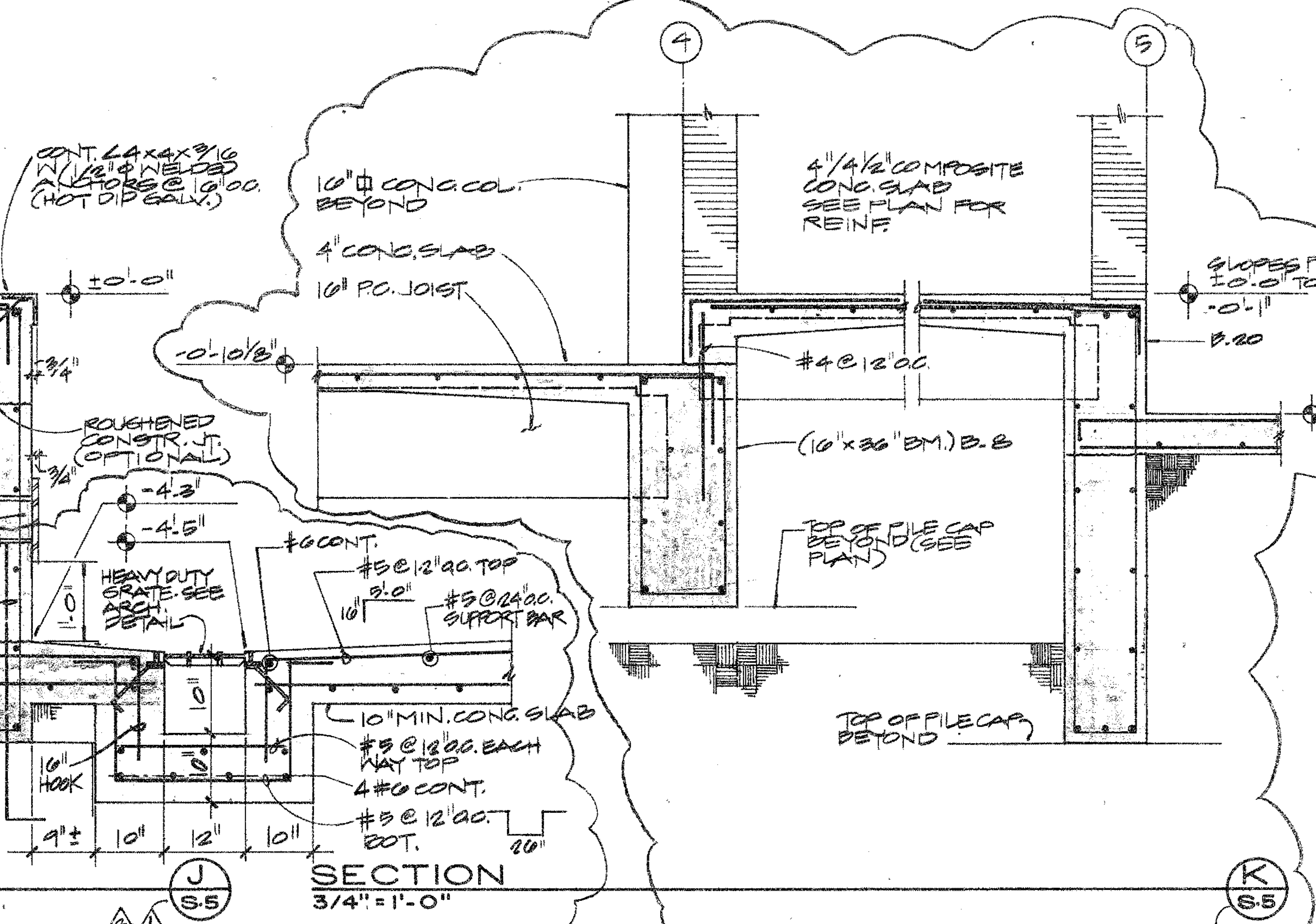
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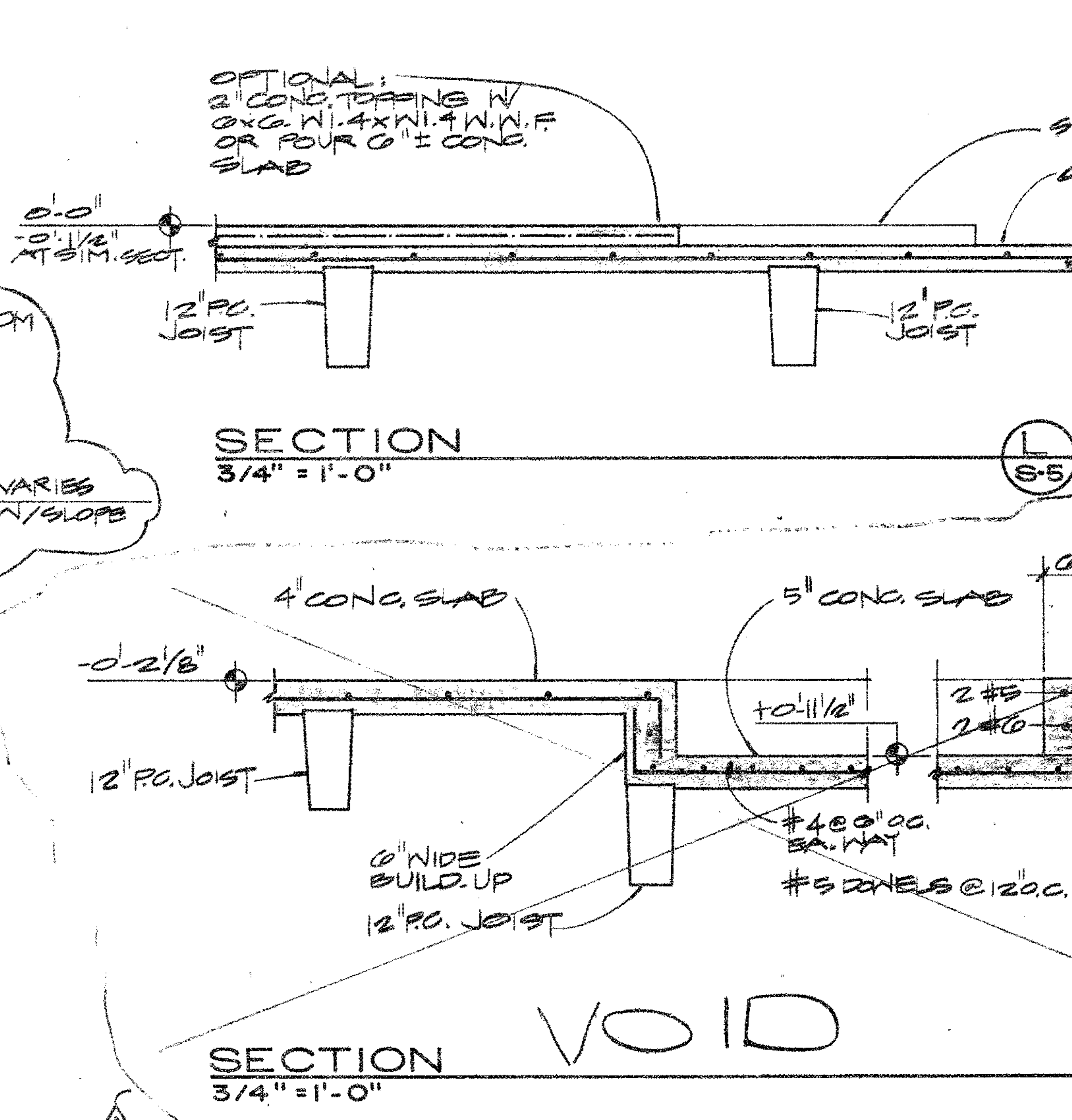
SECTION H 3/4" = 1'-0" S5



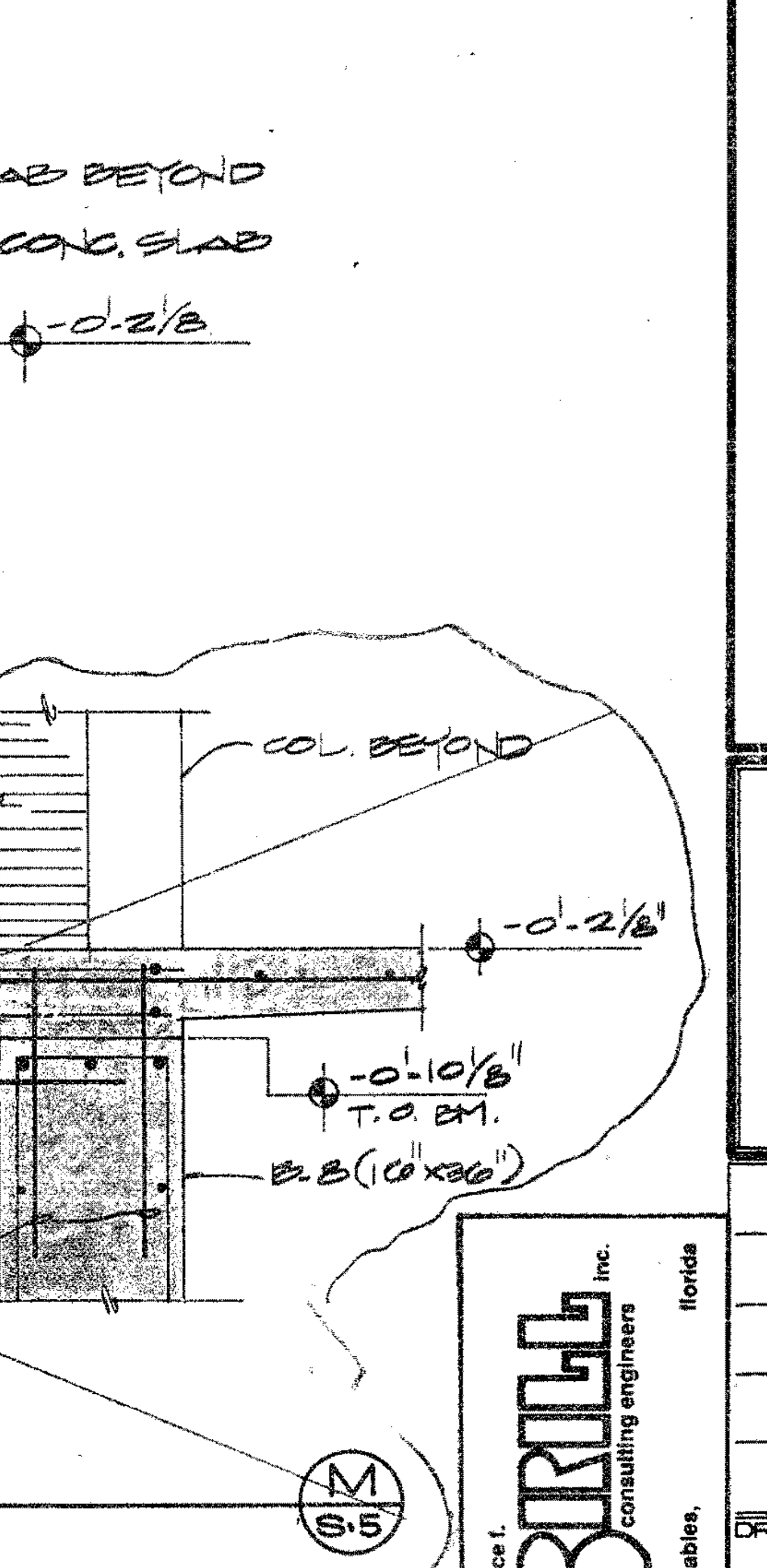
SECTION I 3/4" = 1'-0" S5



SECTION J 3/4" = 1'-0" S5



SECTION K 3/4" = 1'-0" S5



SECTION L 3/4" = 1'-0" S5



SECTION M 3/4" = 1'-0" S5

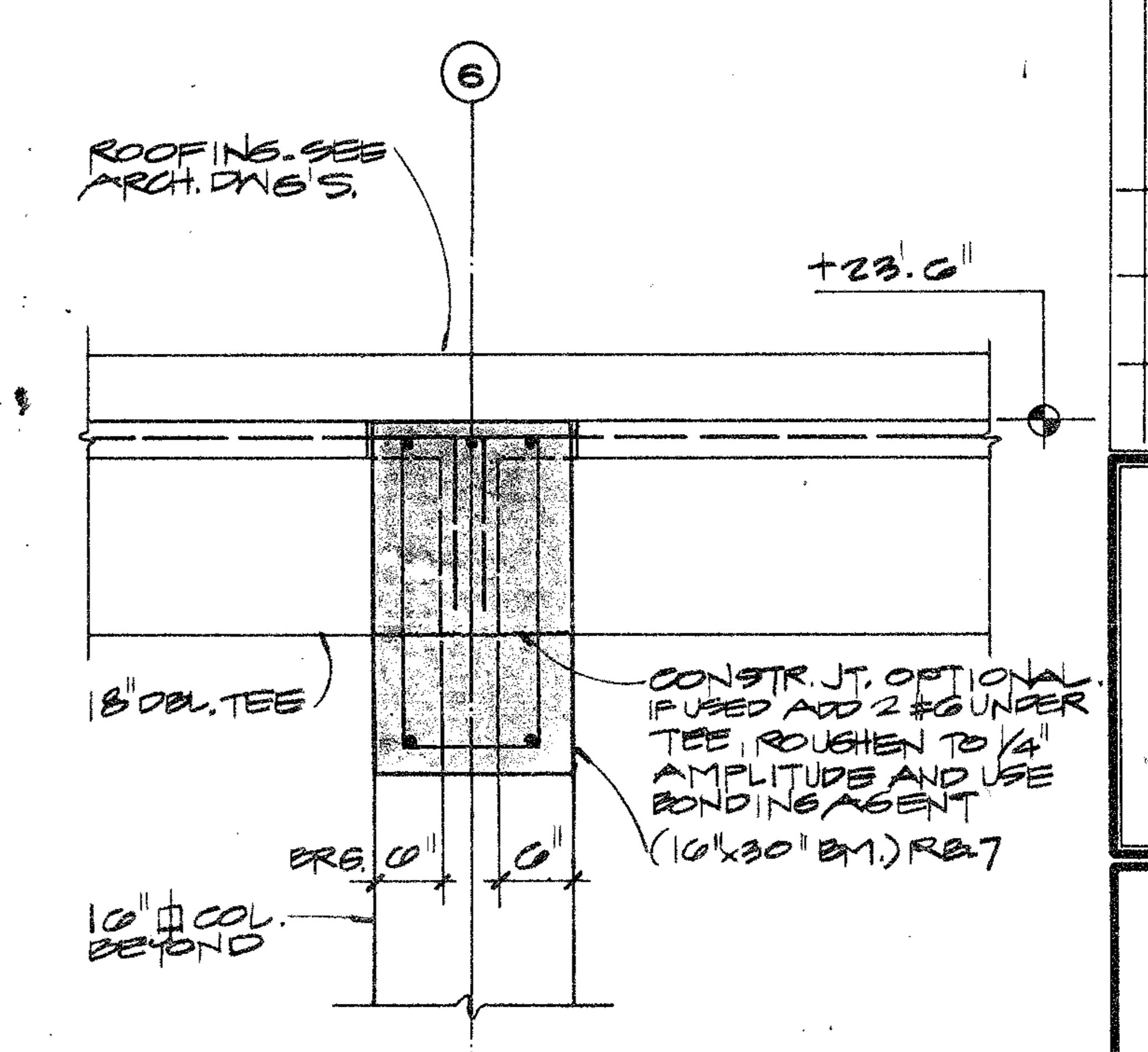
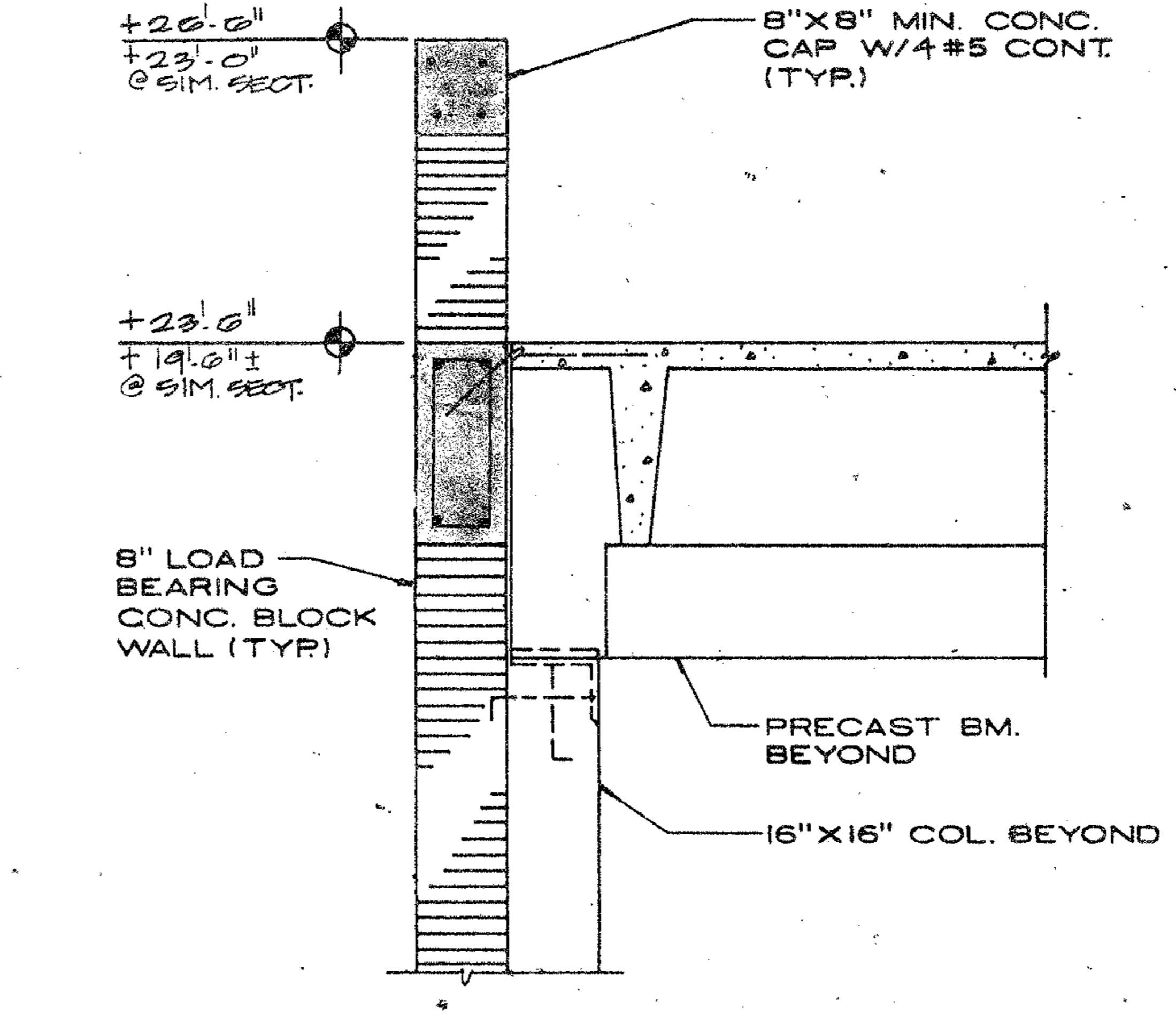
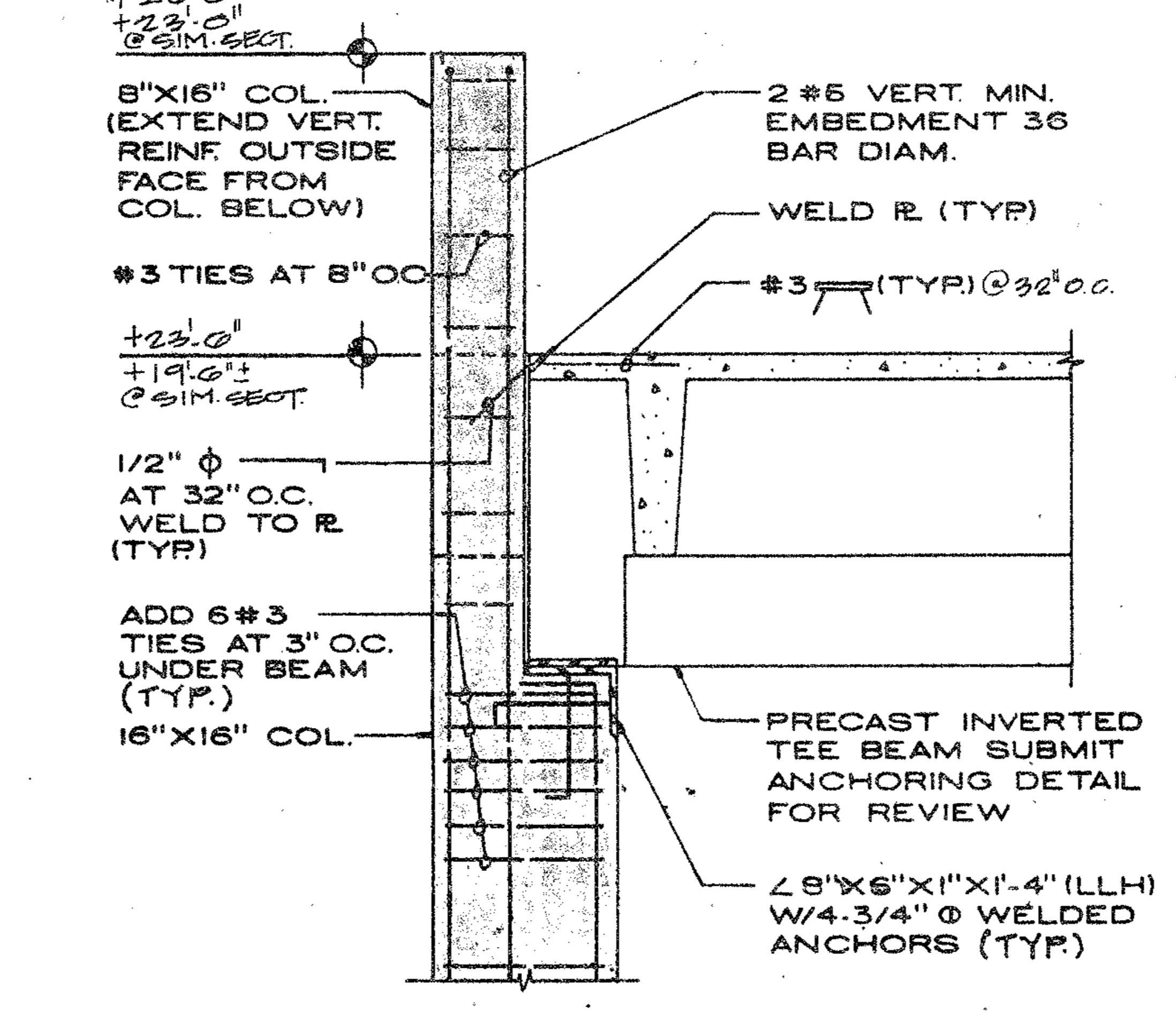
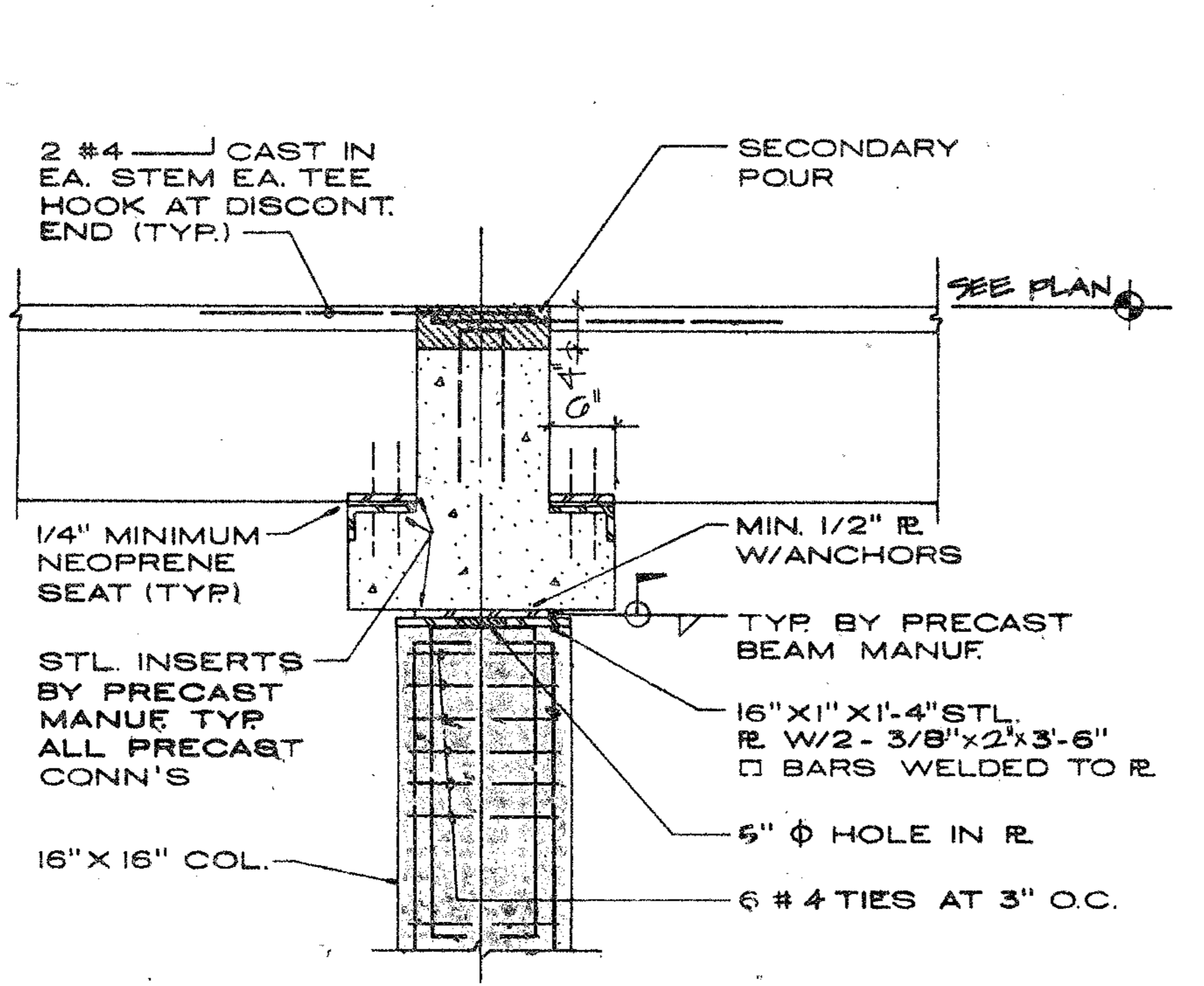
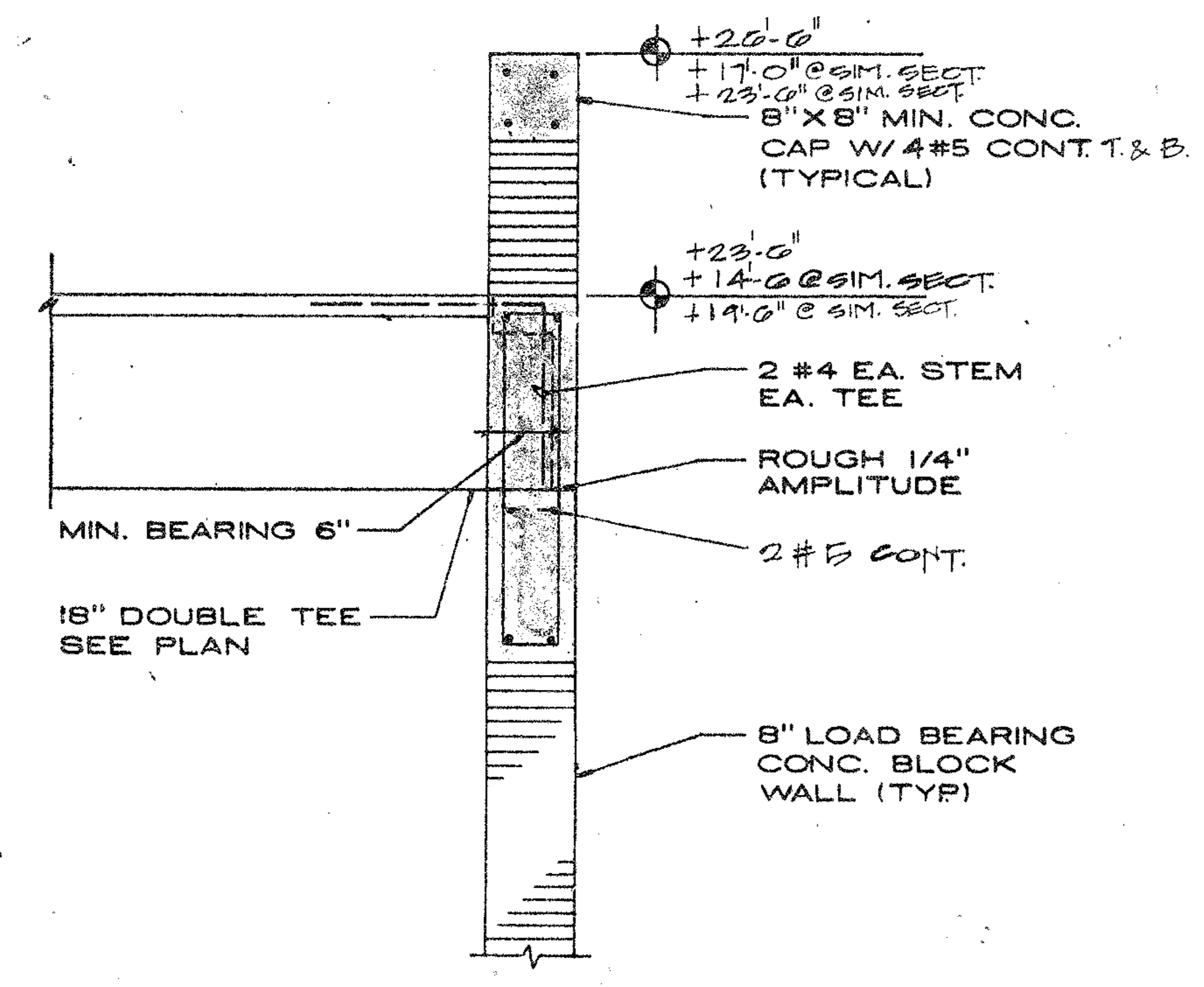
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2	1-22-88
3	1-21-88
4	1-21-88
5	1-21-88

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 AT
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JOB NO.	

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 coral gables, florida



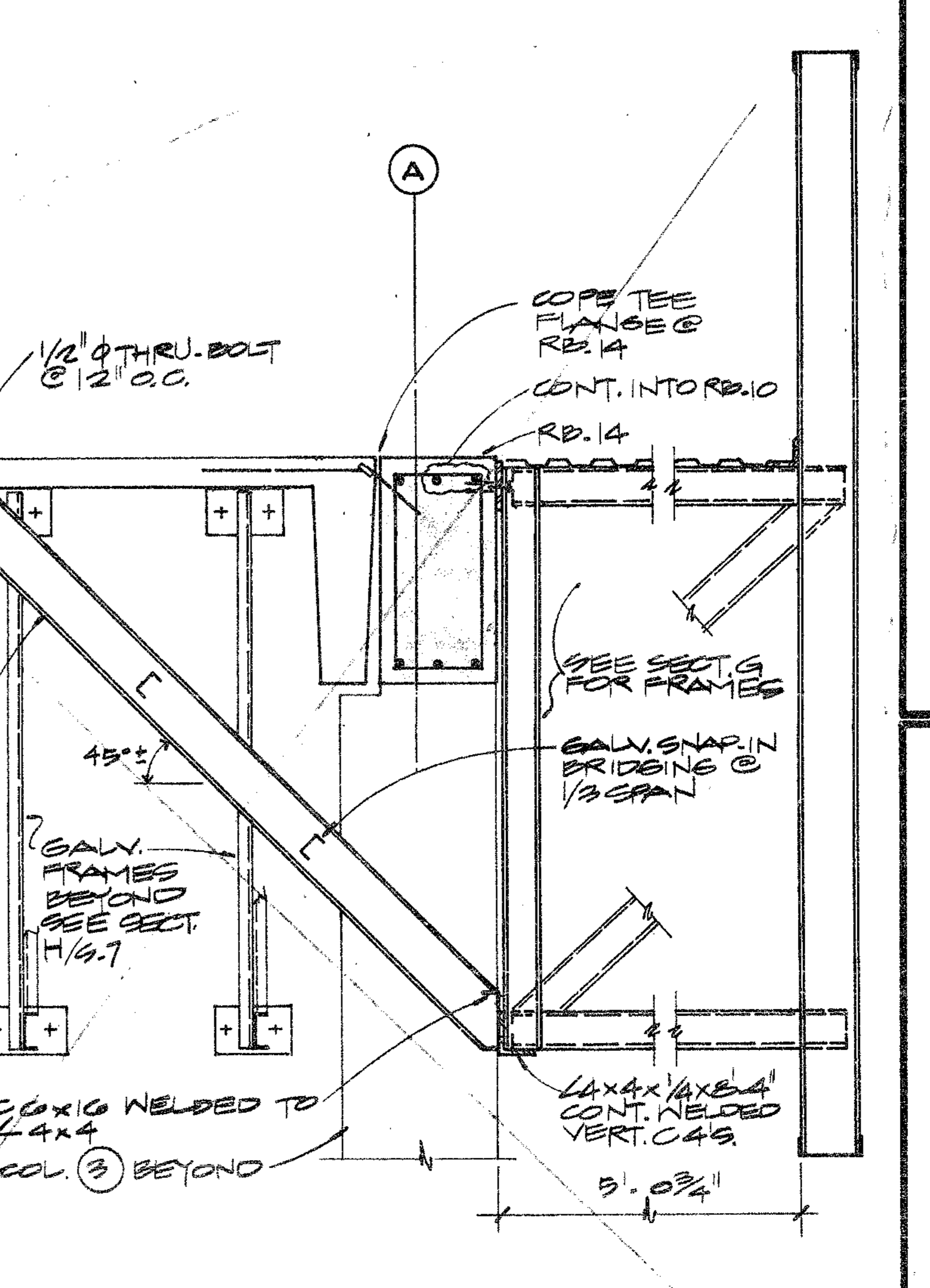
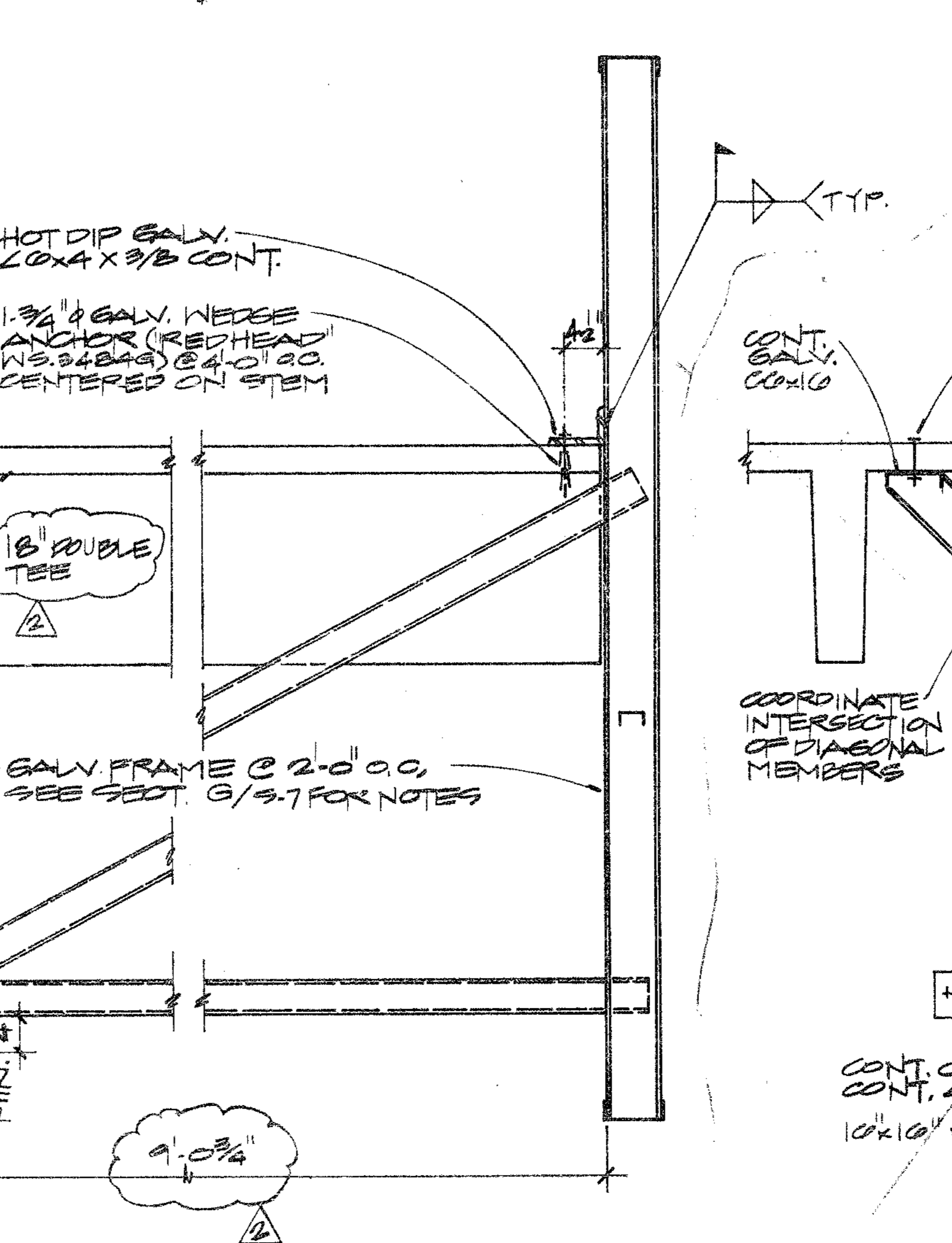
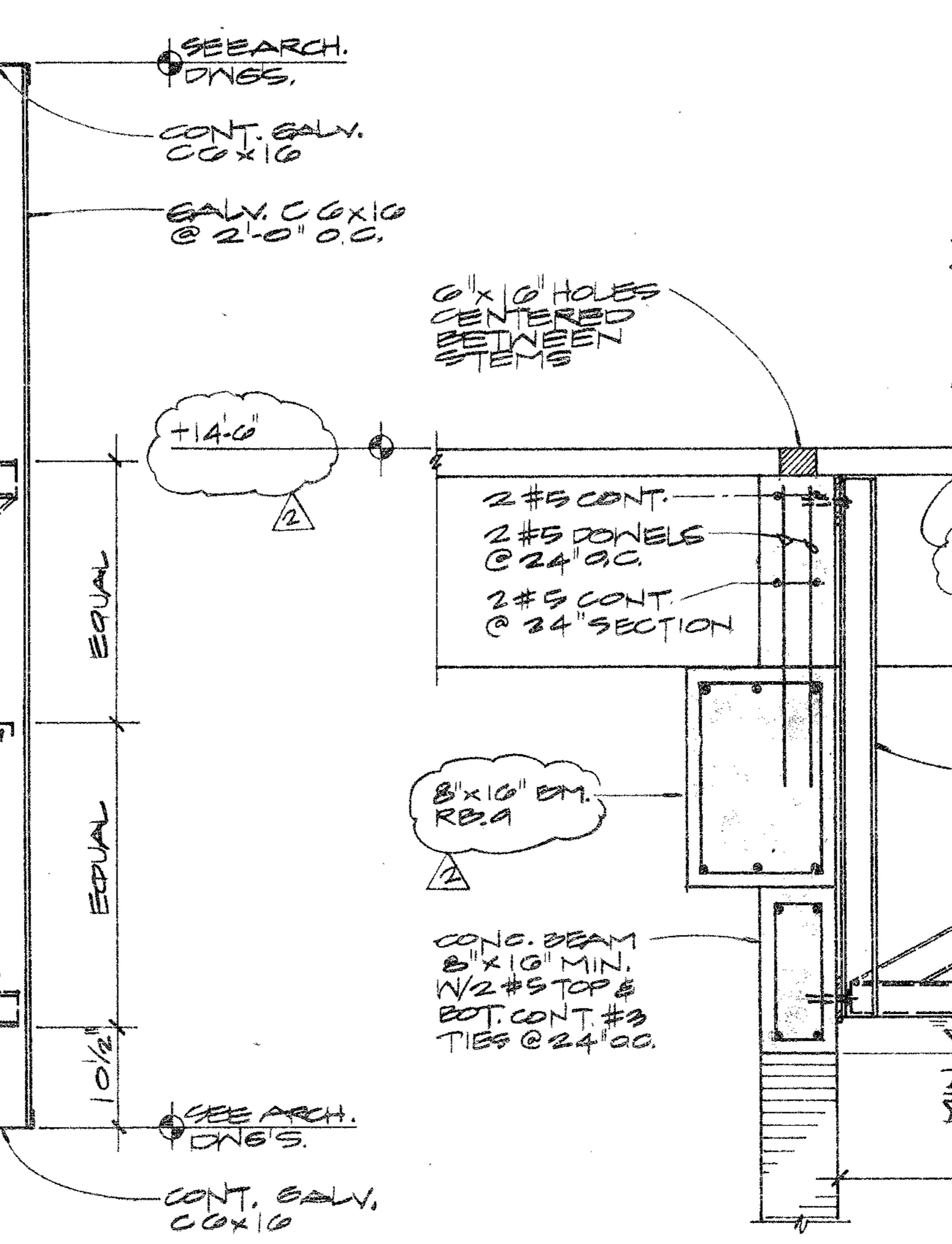
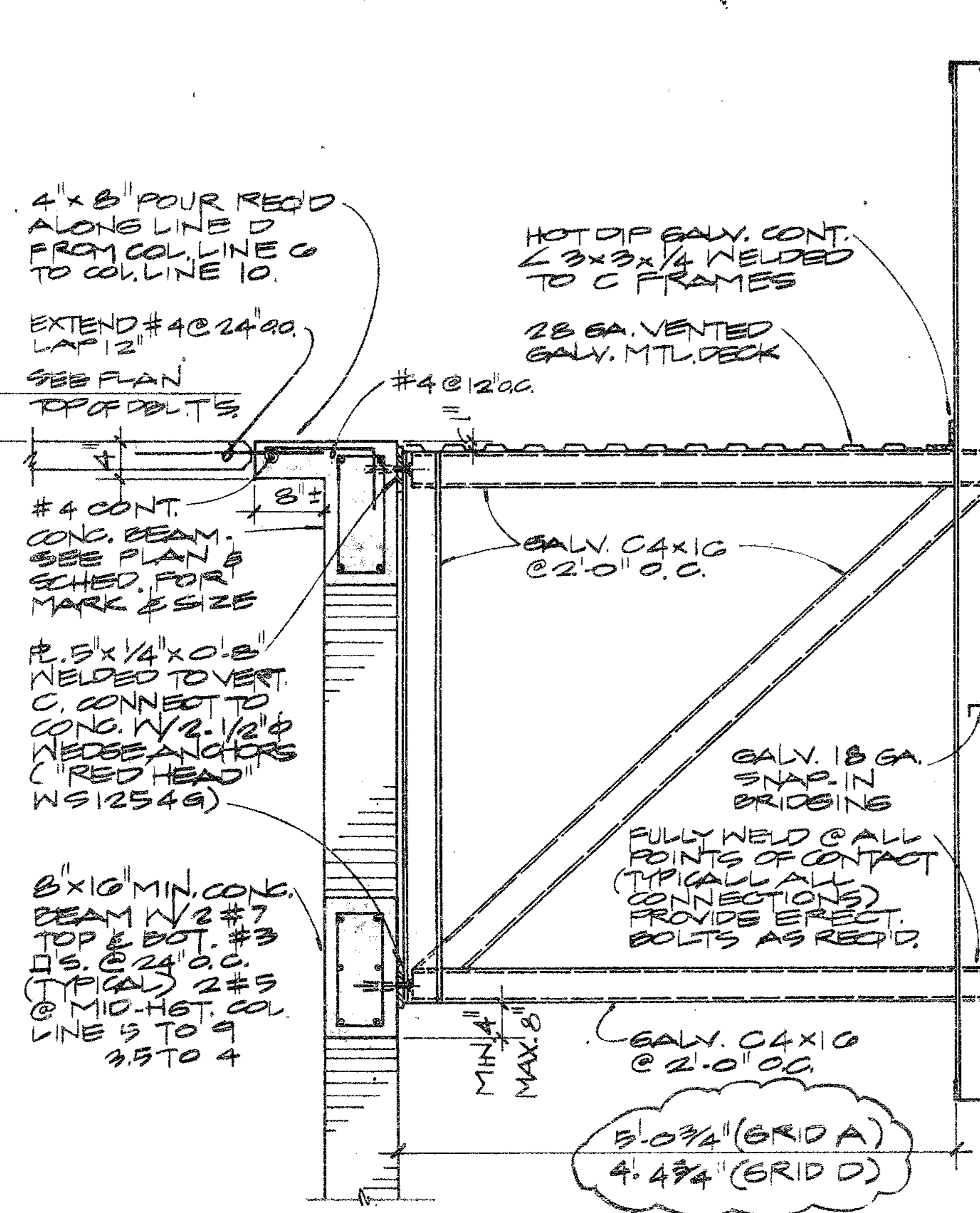
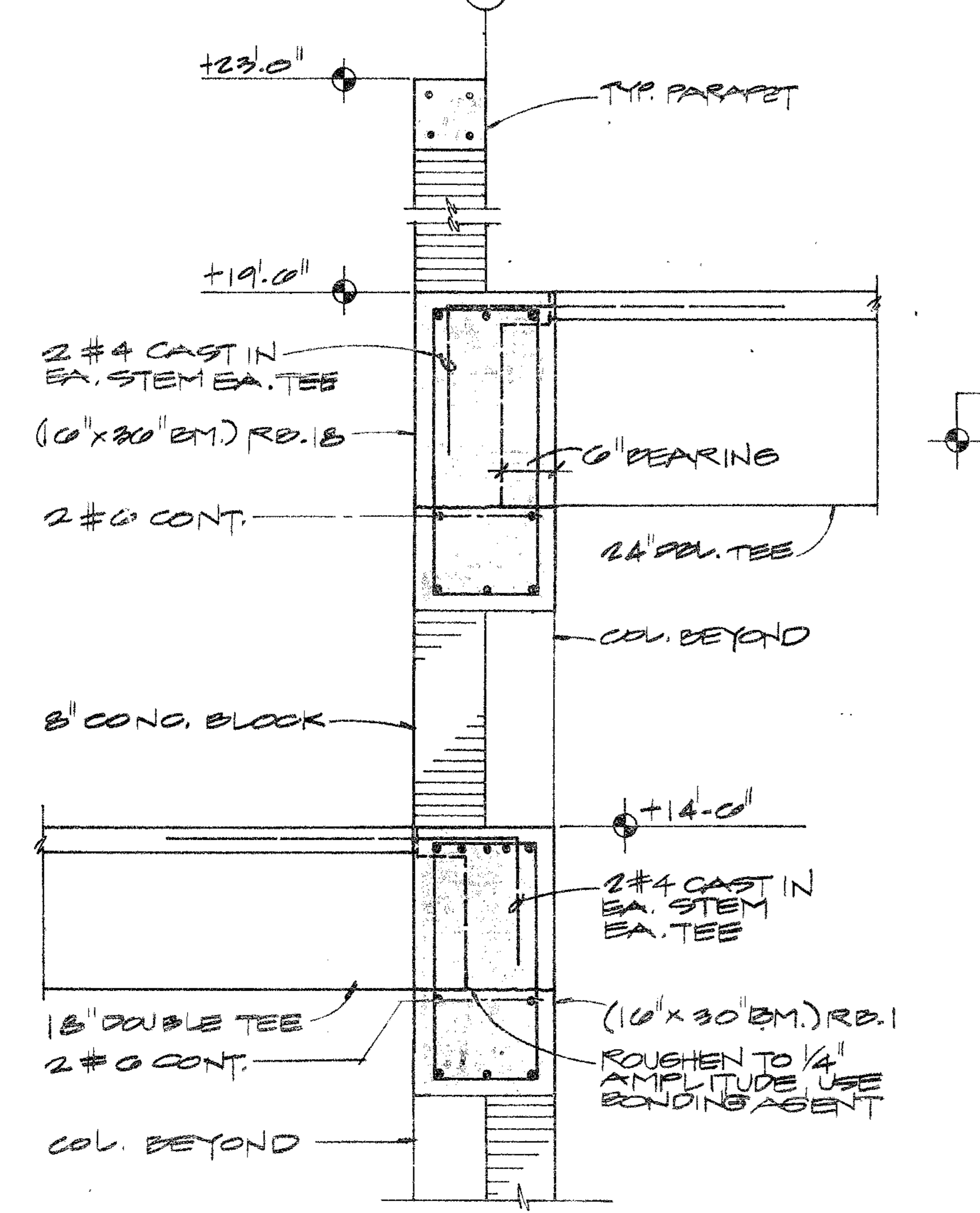
SECTION A
3/4" = 1'-0"

SECTION B
3/4" = 1'-0"

SECTION C
3/4" = 1'-0"

SECTION D
3/4" = 1'-0"

SECTION E
3/4" = 1'-0"



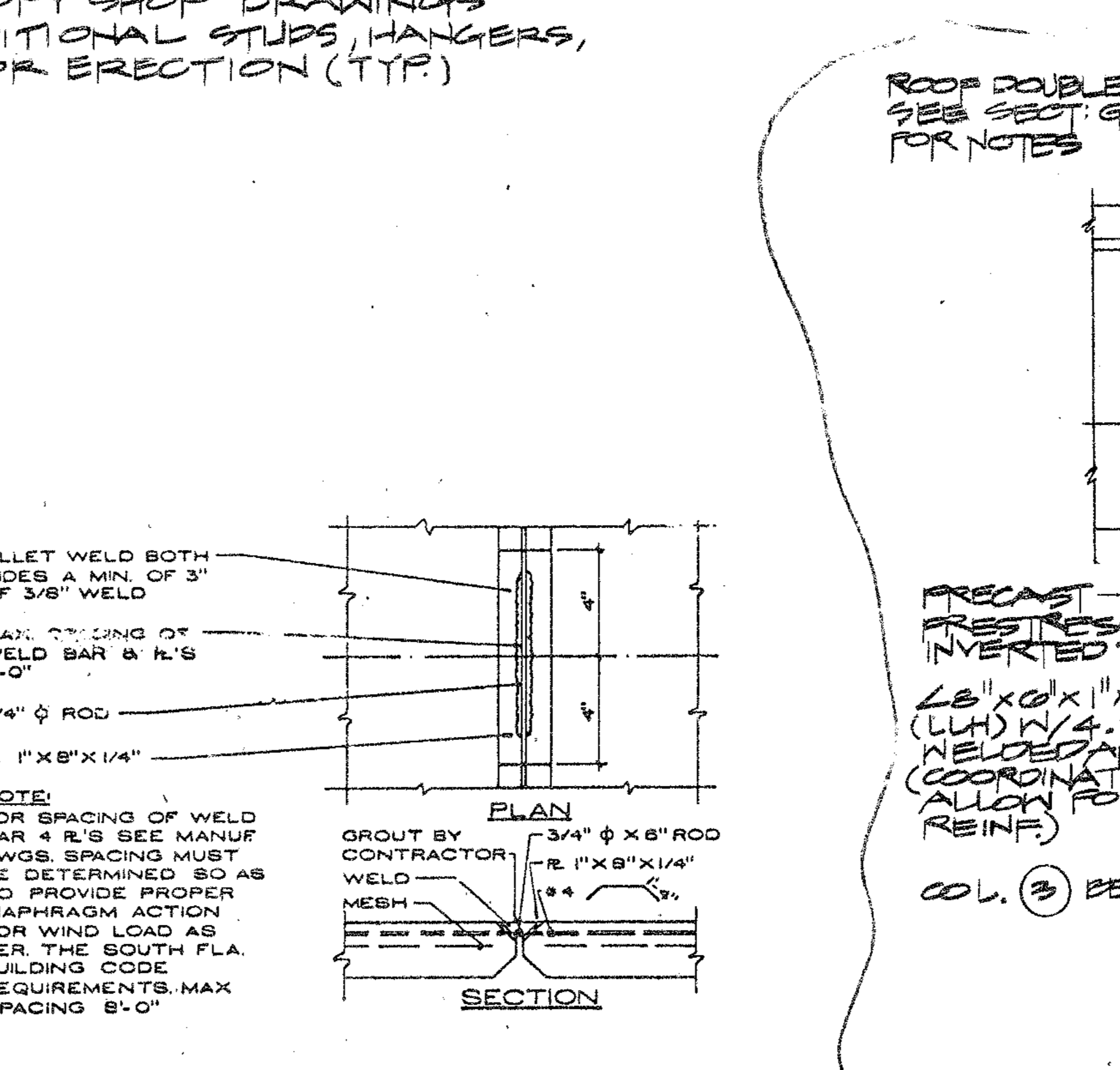
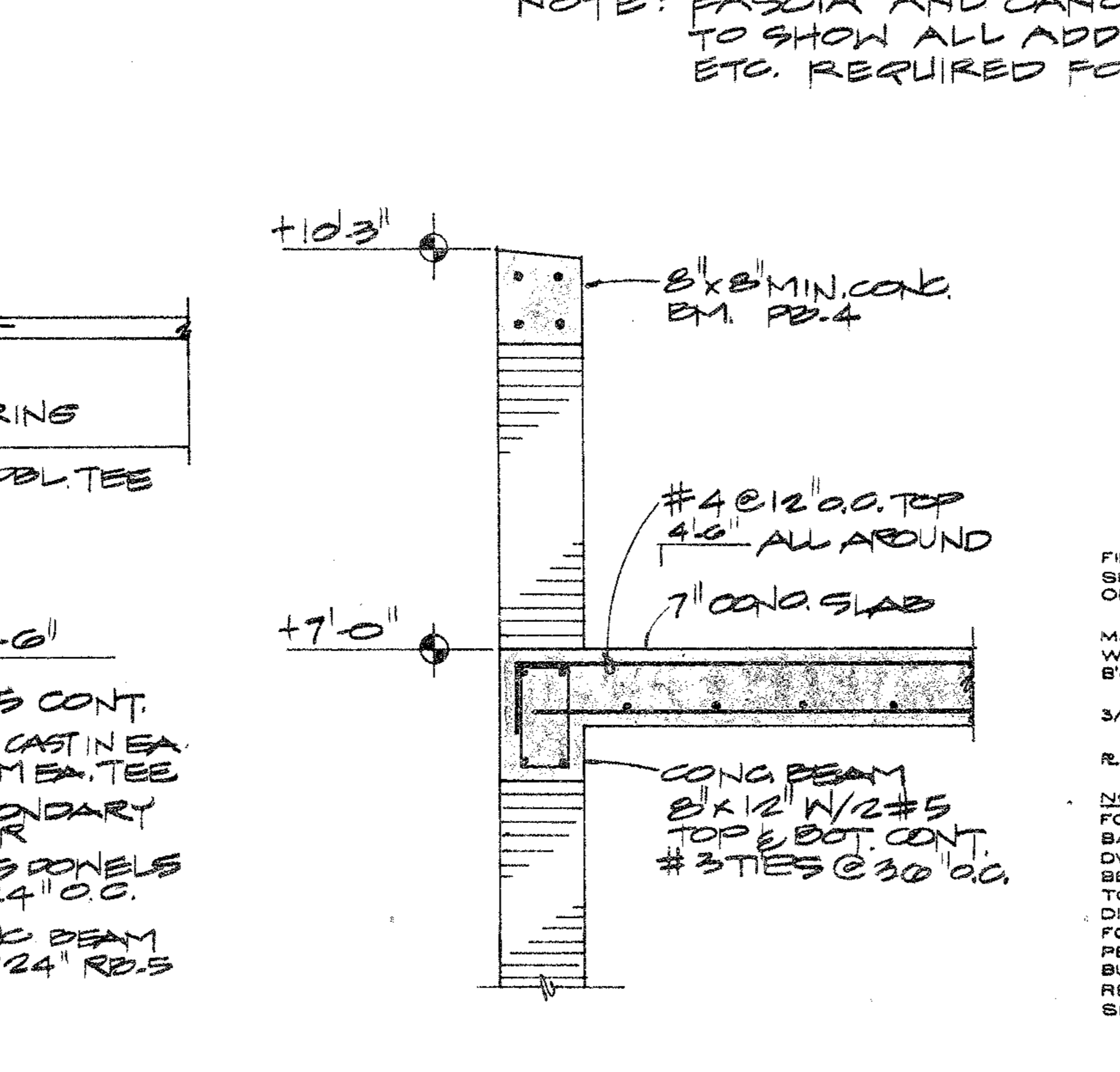
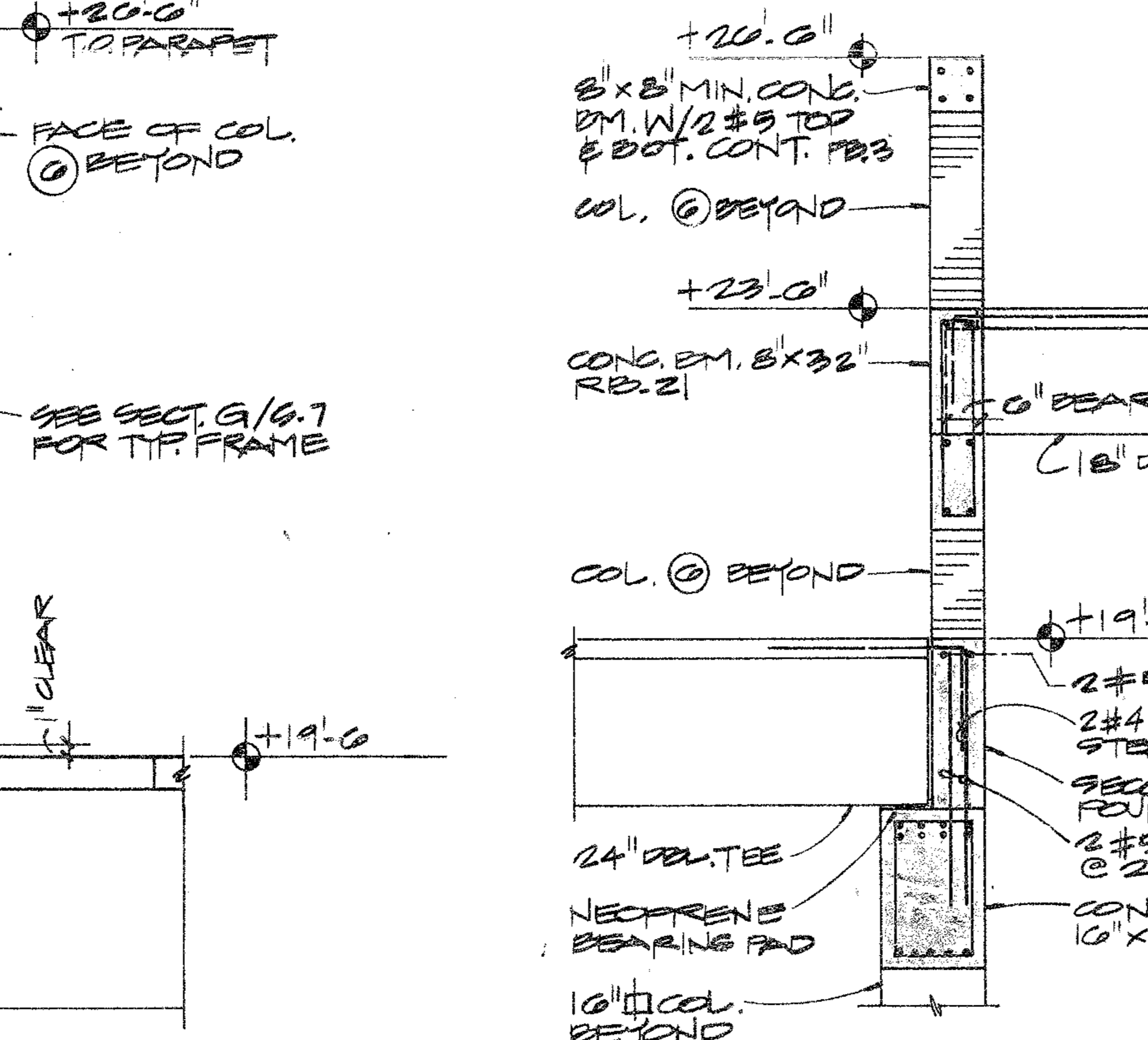
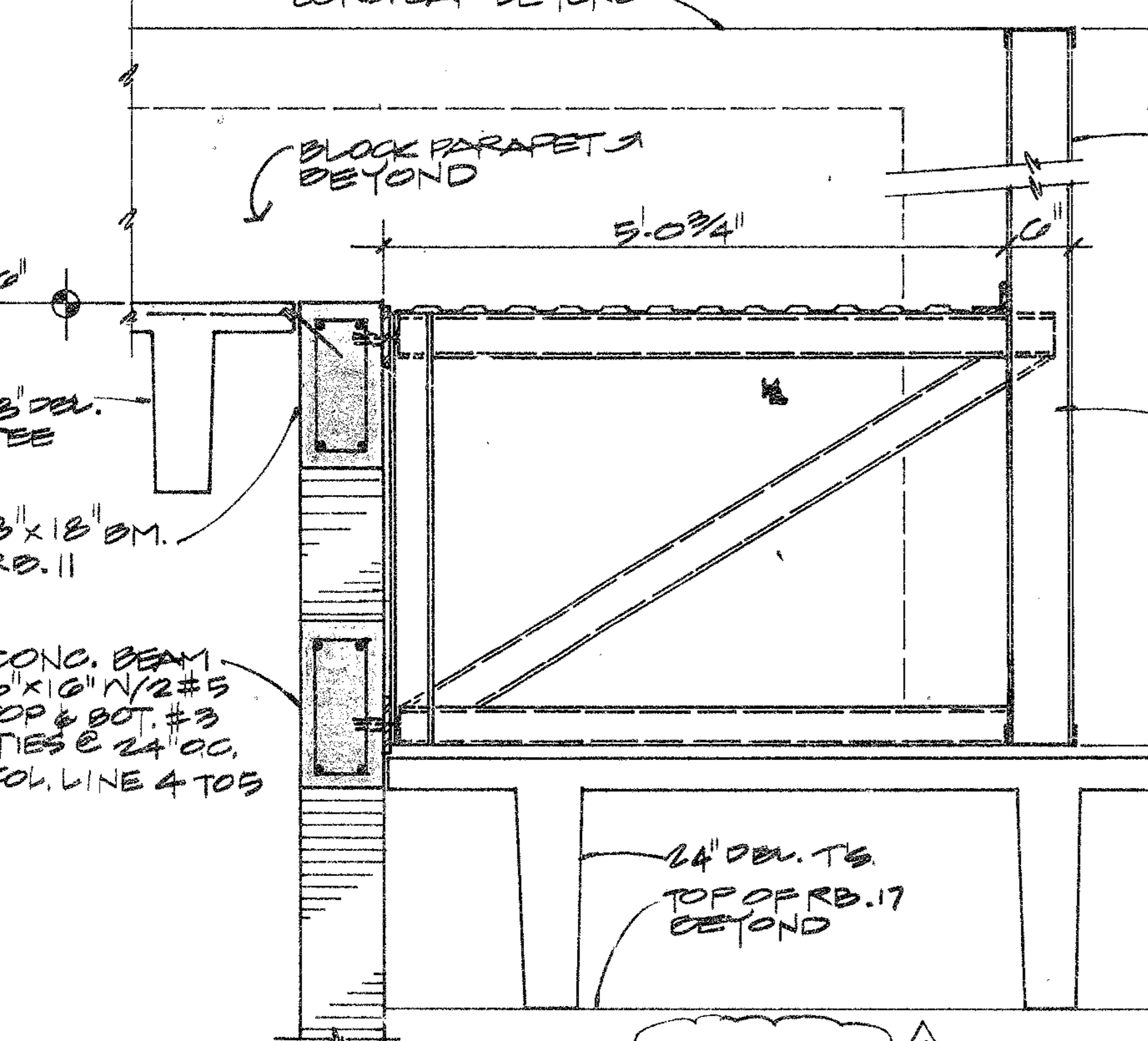
SECTION F
3/4" = 1'-0"

SECTION G (TYP. CANOPY CONSTRUCTION)
3/4" = 1'-0"

SECTION H
3/4" = 1'-0"

SECTION I (OMIT)
3/4" = 1'-0"

SECTION J
3/4" = 1'-0"

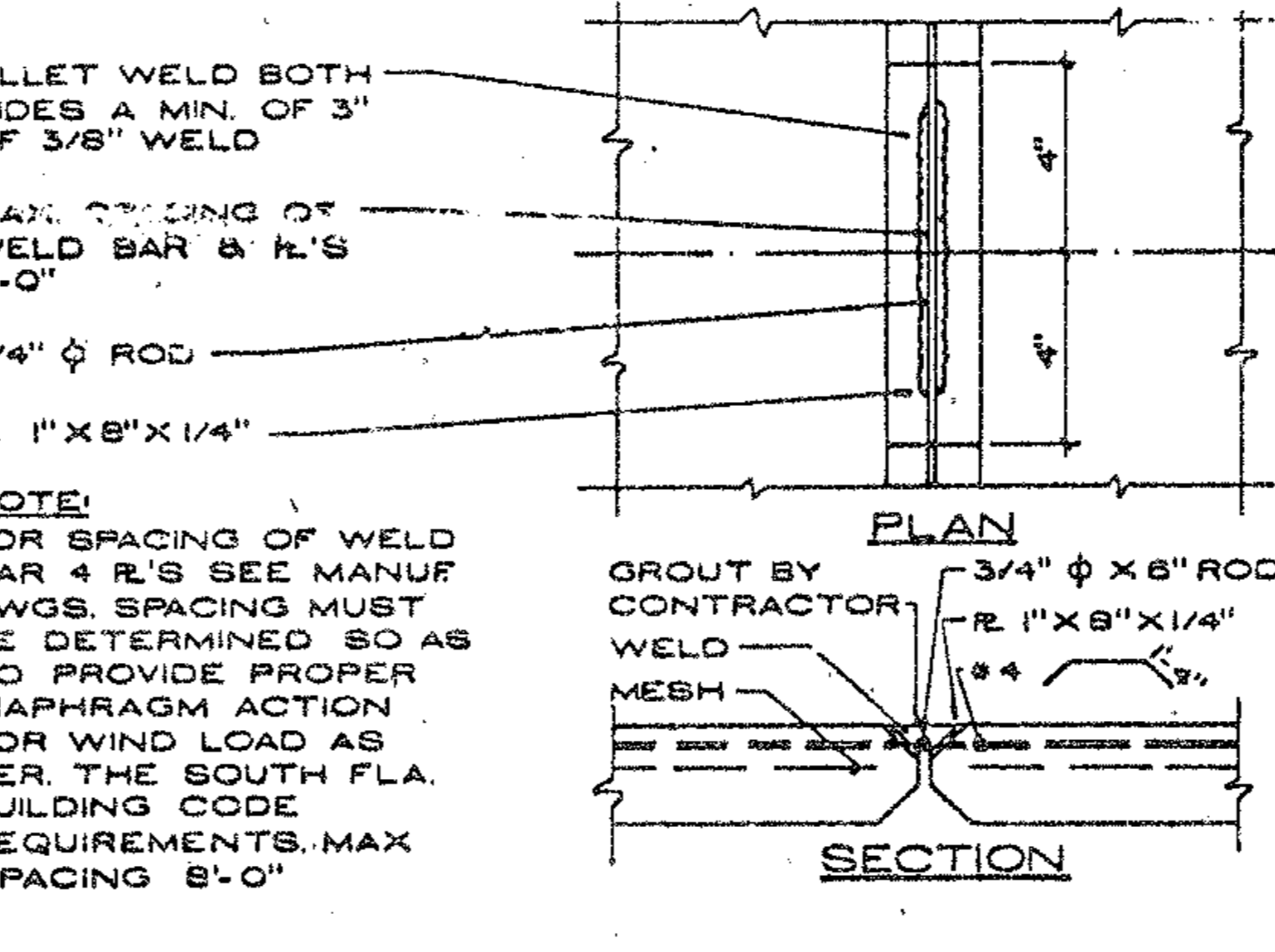


SECTION K
3/4" = 1'-0"

SECTION L
1/2" = 1'-0"

SECTION M
3/4" = 1'-0"

SECTION N
3/4" = 1'-0"



TYPICAL FLANGE WELD PLATE DETAIL FOR ROOF DOUBLE TEES
3/4" = 1'-0"

Table with columns for DATE, APPROVED BY, and REVISIONS. Includes a grid for drawing revisions.

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MIAMI INTERNATIONAL AIRPORT

Table with columns for CLIENT, DATE, and DRAWING NO. Includes fields for client approval and drawing identification.

BRILL CONSULTING ENGINEERS
S-7 OF 8
20070

GENERAL STRUCTURAL NOTES

GENERAL:

- THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE PARTLY DIAGNOSTIC. THEY ARE NOT INTENDED TO BE SCALED FOR DIMENSIONS IN MEASUREMENTS, OR TO BE USED AS SHOP DRAWINGS OR PORTIONS THEREOF.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, CONDITIONS AND DIMENSIONS AT THE JOB SITE AND AS SHOWN ON THE DRAWINGS. THEY SHALL REPORT ANY ERRORS OR INCONSISTENCIES IN THE ABOVE TO THE ARCHITECT/ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR AND SUBCONTRACTORS SHALL LAY OUT THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- SAFETY:**
 - THE CONTRACTOR IS RESPONSIBLE AND SHALL COMPLY WITH THE SAFETY REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL LAWS.
 - PROVIDE ALL SHORING, BRACING AND SHEETING AS REQUIRED FOR SAFETY AND FOR THE PROPER EXECUTION OF THE WORK. REMOVE WHEN THE WORK IS COMPLETED.
 - PROVIDE AND MAINTAIN CHASE LIGHTS AT ALL RAFFICADES, RAILINGS, OBSTRUCTIONS IN THE STREETS, ROADS OR SIDEWALKS AND ALL TRENCHES OR PITS ADJACENT TO PUBLIC WALKS OR ROADS.
 - AS ALL TIMES PROVIDE PROTECTION AGAINST WEATHER (RAIN, WIND, STORMS OR HEAT), SO AS TO MAINTAIN ALL WORK, MATERIALS, APPARATUS AND FIXTURES FREE FROM INJURY OR DAMAGE.
 - THE CONTRACTOR SHALL PAY FOR ALL DAMAGES TO ADJACENT STRUCTURES, SIDEWALKS AND TO STREETS OR OTHER PUBLIC PROPERTY OR TO ANY PUBLIC UTILITIES.
 - AT THE END OF THE DAYS WORK, COVER ALL WORK LIKELY TO BE DAMAGED. ANY WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE.

WEARING FLOORS INSIDE REFRIGERATORS:

- CONCRETE WEARING FLOORS INSIDE THE REFRIGERATORS TO BE 4" OR 6" THICK REGULAR WEIGHT CAST IN PLACE CONCRETE.
- 4" WEARING CONCRETE FLOOR REINFORCED WITH 6 x 6 W1.4 x W1.4 GALVANIZED WELDED WIRE FABRIC. 6" FLOORS REINFORCED WITH 6 x 6 - W2.9 x W2.9 GALV. W.W.F.
- PROVIDE SCAFF JOINTS AT 16 x 16 FEET ON CENTER MAXIMUM.

CONCRETE:

- CONCRETE DESIGN AND REINFORCEMENT IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (A.C.I. 318-83) AND WITH "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" - (A.C.I. 315-80).
- ALL CONCRETE WORK IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" (ACT 304-81). PROTECTION OF CONCRETE, DELIVERY, PLACING AND CURING TO BE IN ACCORDANCE WITH "HOT WEATHER CONCRETING" (A.C.I. 306-77, REVISED 1982).
- NO ADMIXTURES PERMITTED WITHOUT THE REVIEW OF ARCHITECT/ENGINEER.
- ALL CONCRETE PLACED INTO PILE CARS, STRUCTURAL SLABS, COMPOSITE SLABS, BEAMS AND COLUMNS SHALL BE REGULAR WEIGHT, 4000 PSI AT 28 DAYS. ALL REMAINING CONCRETE: INTERIOR TIE COLUMNS AND TIE BEAMS (BLOCK PARTITIONS NOT EXTENDING TO ROOF), SLABS ON GRADE, WALKWAYS AND CONCRETE FINISH SHALL BE REGULAR WEIGHT 3000 PSI AT 28 DAYS.
- CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL.
- PLACING OF CONCRETE IN ALL REINFORCED COLUMNS AND WALLS SHALL BE IN EQUAL LIFTS NOT EXCEEDING 7-1/2 FEET IN HEIGHT. CONCRETE SHALL BE PLACED THROUGH "ELEPHANT TRUNK" RUBBER CHUTES LOCATED SUCH THAT THE FREE AIR DROP OF THE MIX DOES NOT EXCEED ONE FOOT.
- SPECIFIED DIMENSION BOLTS SHALL BE OF THE SIZE INDICATED AND OF THE MAXIMUM EMBEDMENT LENGTH INTO THE CONCRETE. EXPANSION BOLTS AND ACCESSORIES SHALL BE STAINLESS STEEL DEEP WEDGE TYPE. LEAD SHELVES ARE NOT ACCEPTABLE. EXPANSION BOLTS SHALL NOT BE SUBSTITUTED FOR SPECIFIED ANCHOR BOLTS WITHOUT THE ENGINEER'S APPROVAL.

- IF ANY ERROR OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER AGREEMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF SUCH OMISSIONS OR ERRORS PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE CONTRACTOR'S FAILING TO GIVE SUCH NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING THE SAME.

- THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS TOGETHER WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO LOCATE DERESSED SLABS, SLOVES, DRAINS, OUTLETS, RECESSES, OPENINGS, REGLETS, BOLT SETTING, SLEEVES, DIMENSIONS, ETC. POTENTIAL OBSTRUCTIONS SHALL BE TRANSMITTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

- SUBMIT ONE SET AND ONE PRINT OF SHOP DRAWINGS FOR ARCHITECT/ENGINEER REVIEW BEFORE STARTING FABRICATION.

- NO SHOP DRAWINGS SHALL BE SUBMITTED FOR ARCHITECT/ENGINEER REVIEW UNTIL THEY HAVE BEEN REVIEWED AND NOTED FOR CONSTRUCTION METHOD, DIMENSIONING AND OTHER TRADE REQUIREMENTS BY THE CONTRACTOR AND STAMPED WITH THE CONTRACTOR'S APPROVAL SEAL. ENGINEER ASSUMES NO RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, ERRORS OR OMISSIONS AS A RESULT OF CHECKING AND REVISIONS ANY SHOP DRAWINGS. ANY ERRORS OR OMISSIONS MUST BE MADE GOOD BY CONTRACTOR, IRRESPECTIVE OF RECEIPT, CHECKING OR REVIEW OF DRAWINGS BY ENGINEER AND EVEN THOUGH WORK IS DONE IN ACCORDANCE WITH SUCH DRAWINGS.

STRUCTURAL DESIGN CRITERIA:

- THE DESIGN COMPLIES WITH THE REQUIREMENTS OF THE SOUTH FLORIDA BUILDING CODE (1994 EDITION) AND OTHER REFERENCED CODES AND SPECIFICATIONS. ALL REFERENCED CODES AND SPECIFICATIONS SHALL BE LATEST EDITION AT TIME OF PERMIT.
- WIND LOAD CRITERIA:**
BASIC WIND VELOCITY - 120 MPH AT A HEIGHT OF 30 FEET.
(S.F.B.C. - PARAGRAPH 2306)
- ROOF LOADS:**
LIVE LOAD 30 PSF
SUPERIMPOSED DEAD LOAD 30 PSF
STUD PARAPET 20 PSF
ADDITIONAL ROOF MOUNTED OR HUNG EQUIPMENT LOADING IS SHOWN ON THE DRAWINGS.
- FLOOR LOADS:**
LIVE LOADS AND ADDITIONAL MASONRY PARTITION LOADS ARE SHOWN ON THE DRAWING PLAN.
SUPERIMPOSED DEAD LOAD (BRICK PAVERS WHERE INDICATED ON ARCHITECTURAL DRAWINGS) 25 PSF
SEE PLANS FOR ADDITIONAL LOADING INFORMATION.

HAND RAILS AND STAIR RAILING TO COMPLY WITH S.F.B.C. PARAGRAPH 2303.3.

FOUNDATIONS: (PILES)

- FOUNDATIONS ARE DESIGNED TO BEAR ON 14" x 14" PRECAST PRESTRESSED CONCRETE PILES WITH AN ALLOWABLE COMPRESSION CAPACITY OF 35 TONS. SEE SPECIFICATIONS FOR OTHER REQUIREMENTS. NOTIFY ENGINEER OF ANY DISCREPANCY IN SOIL BEARING CAPACITY BEFORE PROCEEDING WITH THE WORK.
- CONCRETE STRENGTH TO BE 5000 PSI AT TIME OF PILE DRIVING.
- PILES DESIGNED AND DRIVEN IN ACCORDANCE WITH S.F.B.C., SECTION 2404.
- PILE DRIVING EQUIPMENT TO BE REVIEWED BY ENGINEER.
- PILE DRIVING CONTRACTOR TO HAVE MINIMUM 5 YEARS OF SUCCESSFUL EXPERIENCE AS PILE DRIVING CONTRACTOR.

SLABS ON GRADE:

- ALL CONCRETE SLABS ON GRADE SHALL BE A MINIMUM FOUR INCHES THICK AND REINFORCED WITH 6 X 6 - W1.4 X W1.4 GALVANIZED WELDED WIRE FABRIC (UNLESS OTHERWISE NOTED).
- ALL CONCRETE SLABS ON GRADE TO BE IN ACCORDANCE WITH THE LATEST "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION" (ACT 302-TR-80).
- JOINTS SHALL BE PROVIDED IN ALL SLABS ON GRADE WHERE INDICATED ON PLANS. PROVIDE SCAFF JOINTS IN ALL SIDEWALKS AT A MAXIMUM SPACING OF 5 FT. ON CENTER AND ISOLATION JOINTS AT A MAXIMUM OF 20 FEET APART.

WEARING FLOORS INSIDE REFRIGERATORS:

- CONCRETE WEARING FLOORS INSIDE THE REFRIGERATORS TO BE 4" OR 6" THICK REGULAR WEIGHT CAST IN PLACE CONCRETE.
- 4" WEARING CONCRETE FLOOR REINFORCED WITH 6 x 6 W1.4 x W1.4 GALVANIZED WELDED WIRE FABRIC. 6" FLOORS REINFORCED WITH 6 x 6 - W2.9 x W2.9 GALV. W.W.F.
- PROVIDE SCAFF JOINTS AT 16 x 16 FEET ON CENTER MAXIMUM.

CONCRETE:

- CONCRETE DESIGN AND REINFORCEMENT IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (A.C.I. 318-83) AND WITH "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" - (A.C.I. 315-80).
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- NO ADMIXTURES PERMITTED WITHOUT THE REVIEW OF ARCHITECT/ENGINEER.
- ALL CONCRETE PLACED INTO PILE CARS, STRUCTURAL SLABS, COMPOSITE SLABS, BEAMS AND COLUMNS SHALL BE REGULAR WEIGHT, 4000 PSI AT 28 DAYS. ALL REMAINING CONCRETE: INTERIOR TIE COLUMNS AND TIE BEAMS (BLOCK PARTITIONS NOT EXTENDING TO ROOF), SLABS ON GRADE, WALKWAYS AND CONCRETE FINISH SHALL BE REGULAR WEIGHT 3000 PSI AT 28 DAYS.
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- THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS TOGETHER WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO LOCATE DERESSED SLABS, SLOVES, DRAINS, OUTLETS, RECESSES, OPENINGS, REGLETS, BOLT SETTING, SLEEVES, DIMENSIONS, ETC. POTENTIAL OBSTRUCTIONS SHALL BE TRANSMITTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

- SUBMIT ONE SET AND ONE PRINT OF SHOP DRAWINGS FOR ARCHITECT/ENGINEER REVIEW BEFORE STARTING FABRICATION.

- NO SHOP DRAWINGS SHALL BE SUBMITTED FOR ARCHITECT/ENGINEER REVIEW UNTIL THEY HAVE BEEN REVIEWED AND NOTED FOR CONSTRUCTION METHOD, DIMENSIONING AND OTHER TRADE REQUIREMENTS BY THE CONTRACTOR AND STAMPED WITH THE CONTRACTOR'S APPROVAL SEAL. ENGINEER ASSUMES NO RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, ERRORS OR OMISSIONS AS A RESULT OF CHECKING AND REVISIONS ANY SHOP DRAWINGS. ANY ERRORS OR OMISSIONS MUST BE MADE GOOD BY CONTRACTOR, IRRESPECTIVE OF RECEIPT, CHECKING OR REVIEW OF DRAWINGS BY ENGINEER AND EVEN THOUGH WORK IS DONE IN ACCORDANCE WITH SUCH DRAWINGS.

STRUCTURAL DESIGN CRITERIA:

- THE DESIGN COMPLIES WITH THE REQUIREMENTS OF THE SOUTH FLORIDA BUILDING CODE (1994 EDITION) AND OTHER REFERENCED CODES AND SPECIFICATIONS. ALL REFERENCED CODES AND SPECIFICATIONS SHALL BE LATEST EDITION AT TIME OF PERMIT.
- WIND LOAD CRITERIA:**
BASIC WIND VELOCITY - 120 MPH AT A HEIGHT OF 30 FEET.
(S.F.B.C. - PARAGRAPH 2306)
- ROOF LOADS:**
LIVE LOAD 30 PSF
SUPERIMPOSED DEAD LOAD 30 PSF
STUD PARAPET 20 PSF
ADDITIONAL ROOF MOUNTED OR HUNG EQUIPMENT LOADING IS SHOWN ON THE DRAWINGS.
- FLOOR LOADS:**
LIVE LOADS AND ADDITIONAL MASONRY PARTITION LOADS ARE SHOWN ON THE DRAWING PLAN.
SUPERIMPOSED DEAD LOAD (BRICK PAVERS WHERE INDICATED ON ARCHITECTURAL DRAWINGS) 25 PSF
SEE PLANS FOR ADDITIONAL LOADING INFORMATION.

HAND RAILS AND STAIR RAILING TO COMPLY WITH S.F.B.C. PARAGRAPH 2303.3.

FOUNDATIONS: (PILES)

- FOUNDATIONS ARE DESIGNED TO BEAR ON 14" x 14" PRECAST PRESTRESSED CONCRETE PILES WITH AN ALLOWABLE COMPRESSION CAPACITY OF 35 TONS. SEE SPECIFICATIONS FOR OTHER REQUIREMENTS. NOTIFY ENGINEER OF ANY DISCREPANCY IN SOIL BEARING CAPACITY BEFORE PROCEEDING WITH THE WORK.
- CONCRETE STRENGTH TO BE 5000 PSI AT TIME OF PILE DRIVING.
- PILES DESIGNED AND DRIVEN IN ACCORDANCE WITH S.F.B.C., SECTION 2404.
- PILE DRIVING EQUIPMENT TO BE REVIEWED BY ENGINEER.
- PILE DRIVING CONTRACTOR TO HAVE MINIMUM 5 YEARS OF SUCCESSFUL EXPERIENCE AS PILE DRIVING CONTRACTOR.

STRUCTURAL AND MISCELLANEOUS STEEL:
(SHOP DRAWINGS REQUIRED)

- ALL STRUCTURAL STEEL TO BE DOMESTIC A.S.T.M. A-36 F1-36 K.S.I. AND DESIGNED IN ACCORDANCE WITH THE LATEST A.I.S.C. "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" AND THE A.I.S.C. CODE OF STANDARD PRACTICE.
- STEEL TUBES TO BE DOMESTIC STEEL CONFORMING TO A.S.T.M. A-500 GRADE B (F1-46 K.S.I.). TUBE COLUMNS TO BE CONCRETE FILLED WITH VENT HOLES TOP, MIDDLE AND BOTTOM.
- HIGH STRENGTH BOLTS (ASTM-A325) TO BE 3/4 INCHES DIAMETER, UNLESS OTHERWISE SPECIFIED. PROVIDE MATCHING H.S. NUTS AND WASHERS.
- ALL ANCHORS AND ANCHOR BOLTS EMBEDDED IN CONCRETE SHALL BE HOT DIPPED GALVANIZED.
- ALL WELDING TO BE IN ACCORDANCE WITH A.W.S. LATEST "STRUCTURAL WELDING CODE - STEEL" (A.N.S.I./A.W.S. D1.1). RUSTPROOF ALL FIELD WELDS WITH HEAVY DUTY RUSTPROOFING PAINT.
- ALL CONNECTIONS TO BE FIELD AND SHOP WELDED AND TO DEVELOP MEMBER IN SHEAR.
- SPICE LOCATIONS TO BE REVIEWED BY ARCHITECT/ENGINEER.
- STEEL BEARING ON STEEL TO BE WELDED THERETO.
- STEEL BEAMS BEARING ON WALLS TO HAVE ANGLE ANCHORS.
- ALL STRUCTURAL STEEL SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION.
- SUBMIT ONE SET AND ONE PRINT OF SHOP DRAWINGS FOR ENGINEER'S REVIEW BEFORE STARTING FABRICATION.

STEEL STUDS: (LIGHT GAUGE FRAMING)

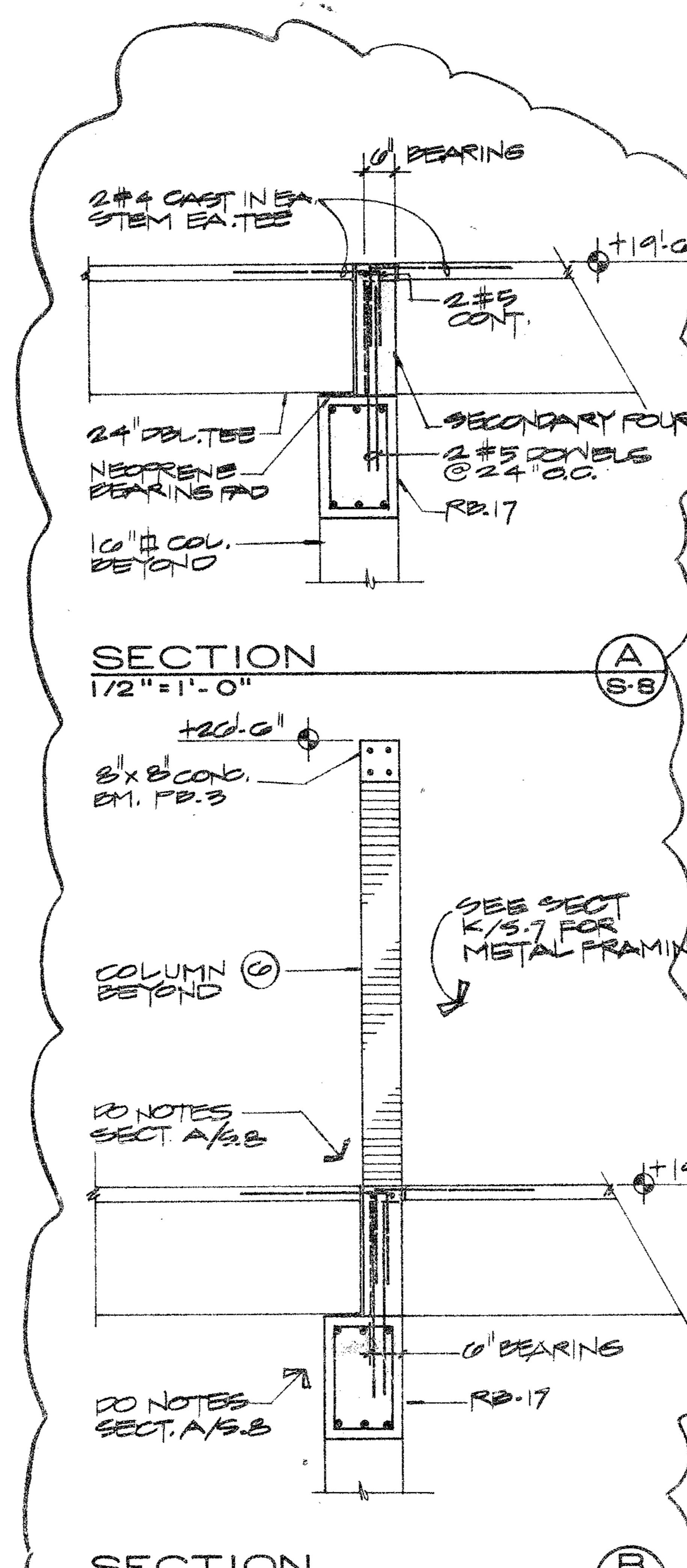
- ALL WORK TO CONFORM TO RECOMMENDATIONS AND SPECIFICATIONS AS OUTLINED IN INTRODUCTORY/STEEL FRAMING SYSTEM CATALOG 37-1.
- DESIGNATIONS USED FOR LIGHT GAUGE STEEL FRAMING ARE THOSE USED IN CATALOG 37-1.
- ALL STEEL STUDS TO BE MINIMUM 16 GAUGE GALVANIZED.
- SHOP FABRICATE ALL FRAMES. WELDS TO DEVELOP MEMBER IN SHEAR AND MOMENT CARRYING CAPACITY. CLEAN AND PAINT ALL WELDS WITH GALVACON.
- STUDS PLACED AGAINST CONCRETE TO BE SEPARATED BY 30 LB. FELT.

PRESTRESSED PRECAST JOISTS (SHOP DRAWINGS REQUIRED)

- PRESTRESSED PRECAST JOISTS TO BE OF SIZE & SPACING AS INDICATED ON PLAN WITH A COMPOSITE CAST IN PLACE REINFORCED SLAB. THICKNESS AND REINFORCING ARE SHOWN ON PLANS.
- PRESTRESSED JOISTS SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH THE SOUTH FLORIDA BUILDING CODE, P.C.T. MANUAL AND A.C.I. CODE. MEMBERS SHALL BE DESIGNED TO CARRY OWN DEAD LOAD PLUS ALL SUPERIMPOSED INSTANTANEOUS HEAD LOADS PLUS REQUIRED LIVE LOADS. ALL MEMBERS SHALL ALSO BE DESIGNED TO CARRY ALL EXPECTED CONSTRUCTION PHASE LOADS.
- DIFFERENTIAL CAMBER BETWEEN JOISTS AND BETWEEN THE JOISTS AND ADJACENT INSTANTANEOUS CONCRETE BEAMS SHALL BE KEPT TO A MINIMUM.
- COPE TOP OF JOISTS AT SUPPORTS TO PROVIDE CLEARANCE FOR BEAM REINFORCEMENT AS REQUIRED.
- SUBMIT SHOP DRAWINGS AS REQUIRED AND CALCULATIONS SIGNED AND SEALED BY AN ENGINEER REGISTERED IN THE STATE OF FLORIDA.

PRESTRESSED PRECAST DOUBLE TEES AND BEAMS: (SHOP DRAWINGS REQUIRED)

- SUPERIMPOSED LOADS ARE INDICATED ON PLANS AND IN GENERAL NOTES.
- PRESTRESSED UNITS TO BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH THE SOUTH FLORIDA BUILDING CODE AND BY LATEST SPECIFICATIONS OF THE A.C.I. AND P.C.T. MANUAL FOR QUALITY CONTROL. ALL MEMBERS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA. ALL MEMBERS DESIGNED TO CARRY OWN DEAD LOAD PLUS SUPERIMPOSED LOAD SHOWN ON DRAWING (SUBMIT ONE SET AND ONE PRINT OF SHOP DRAWINGS FOR APPROVAL).
- PRESTRESSED UNITS IN EXPOSED AREAS TO HAVE SMOOTH UNDERSIDE READY FOR PAINT.



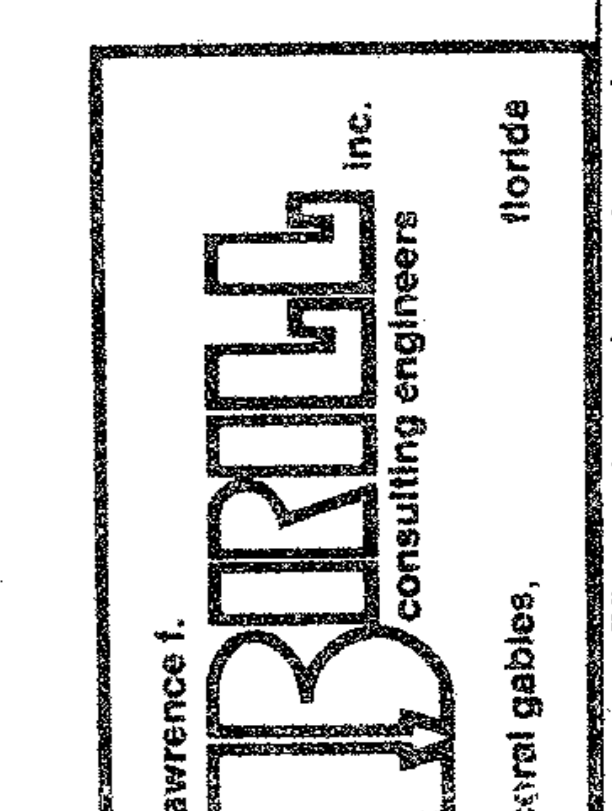
CONCRETE BEAM SCHEDULE							
MARK	ELEV. TOP OF BEAM	SIZE	REINFORCING		# 3 TIES (U.O.N.)	SPACING EACH END	REMARKS
			W	D			
1B-1	+9'-0"	8"	2#3	2#5		@ 8" O.C.	
1B-2	+9'-0"	8"	2#0	2#0		@ 24" O.C.	
1B-3	+10'-0"	8"	2#0	2#0		@ 24" O.C.	
1B-4	+11'-0"	8"	2#0	2#0		@ 10" O.C.	
1B-5	+11'-0"	8"	2#0	2#0		@ 10" O.C.	
1B-6	+9'-0"	8"	2#0	2#0		@ 6" O.C.	2#5 @ 1/3 HGT.
1B-7	+11'-7"	8"	2#0	2#0		@ 24" O.C.	
1B-8	+9'-4"	8"	2#0	2#0		@ 24" O.C.	
1B-9	+8'-0"	8"	2#5	2#5		@ 24" O.C.	
1B-10	+9'-1"	8"	2#0	2#0		@ 6" O.C.	2#5 @ 1/2 HGT. *VERIFY W/ DOOR HEIGHT
1B-11	+9'-4"	8"	2#0	2#0		@ 6" O.C.	
1B-12	+12'-0"	8"	2#5	2#5		@ 24" O.C.	
1B-13	+17'-3"	8"	2#5	2#5		@ 24" O.C.	BLOCK UP TO UNDERSIDE OF STRUCTURE
1B-14	+8'-0 1/2"	8"	2#5	2#5		@ 24" O.C.	
1B-15	+9'-0"	8"	2#0	2#0		@ 12" O.C.	CONSTR. JT. UNDER TEE W/ 2#5 CONT.
1B-16	+9'-2"	8"	2#7	2#0		@ 10" O.C.	
1B-17	+9'-0"	8"	2#4	2#0		@ 10" O.C.	
RB-1	+14'-0"	10"	3#7	3#7	2#7	#4's @ 12" O.C.	CONSTR. JT. UNDER TEE W/ 2#0 CONT.
RB-2	+14'-0"	10"	3#7	3#7		#4's @ 12" O.C.	CONSTR. JT. UNDER TEE W/ 2#0 CONT.
RB-3	+14'-0"	8"	2#0	2#0		@ 12" O.C.	CONSTR. JT. UNDER TEE W/ 2#5 CONT.
RB-4	+17'-0"	10"	2#4	5#9	4#9	#4's @ 12" O.C.	
RB-5	+17'-0"	10"	2#4	4#9	4#9*	#4's @ 12" O.C.	*EXTEND TO MID-SPAN OF ADJACENT BEAM
RB-6	+23'-0"	10"	2#8	2#8		#4's @ 12" O.C.	SEE SECT. E/S.7
RB-7	+23'-0"	10"	2#8	2#8	1#8	#4's @ 12" O.C.	SEE SECT. E/S.7
RB-8	+14'-0"	8"	2#0	2#0		@ 24" O.C.	
RB-9	+13'-0"	8"	2#0	2#0		@ 8" O.C.	
RB-10	+19'-0"	8"	2#4	2#0		@ 24" O.C.	
RB-11	+23'-0"	8"	2#0	2#0		@ 24" O.C.	
RB-12	+23'-0"	8"	2#0	2#0		@ 12" O.C.	CONSTR. JT. UNDER TEE W/ 2#5 CONT.
RB-13	+17'-0"	10"	2#4	2#7		#4's @ 24" O.C.	#5 BARS @ 24" O.C. SEE FOUR 6"x24" W/ 2#0 TOP
RB-14	+21'-0"	10"	2#8	2#0		#4's @ 12" O.C.	*VERIFY W/ PC GIRDER SUPPLIER
RB-15	+14'-0"	12"	2#0	2#0	2#7x12" 1#7"	@ 6" O.C.	ADD 2#0 @ 1/3 HGT. *HOOK INTO COL.
RB-16	+11'-0"	8"	2#0	2#0		@ 12" O.C.	CONSTR. JT. UNDER TEE W/ 2#5 CONT.
RB-17	+17'-0"	10"	2#4	2#8		#4's @ 10" O.C.	
RB-18	+19'-0"	10"	2#8	2#8		#4's @ 12" O.C.	CONSTR. JT. UNDER TEE W/ 2#0 CONT.
RB-19	+23'-0"	10"	2#8	2#8		#4's @ 10" O.C.	
RB-20	+17'-0"	10"	2#4	2#8		#4's @ 10" O.C.	
RB-21	+23'-0"	8"	2#0	2#0		@ 12" O.C.	CONSTR. JT. UNDER TEE W/ 2#5 CONT.
RB-22	+11'-0"	12"	2#8	2#7		#4's @ 10" O.C.	ADD 2#0 @ 1/3 HGT.
RB-23	+9'-0"	8"	2#0	2#0		@ 12" O.C.	CONSTR. JT. UNDER TEE W/ 2#5 CONT.
RB-24	+23'-0"	8"	2#7	2#0		@ 12" O.C.	
RB-25	+13'-11"	8"	2#7	2#0		@ 12" O.C.	
RB-26	+11'-0"	8"	2#5	2#5		@ 12" O.C.	
PB-1	+17'-0"	8"	2#5	2#5			
PB-2	+23'-0"	8"	2#5	2#5			
PB-3	+23'-0"	8"	2#5	2#5			
PB-4	+10'-3"	8"	2#5	2#5			
PB-5	+23'-0"	8"	2#5	2#5			
PB-6	+14'-8"	8"	2#5	2#5			
PB-7	+12'-0"	8"	2#5	2#5			

SEE ONE S. 2 FOR CONC. BEAM DIAGRAM.

TINNEY-RUIZ & PARTNERS, P.A.
Architecture • Planning • Interior Design
3692 S.W. 24th ST. MIAMI, FLORIDA 33145. Telephone (305) -441-0288

COMMISSARY FOR:
DOBBS HOUSES INC.
AT
BUILDING 3074
MIAMI INTERNATIONAL AIRPORT

CLIENT APPROV.	DATE
DRAWN	DATE
LEDS	DATE
APPROVED	DATE
ISSUED	DATE
DATE	DATE
JOB NO.	





RPQ ADDENDUM

Addendum No.:	4	Date:	11/2/2020
Project No.:	X127A-R	Project Title:	Bldg 3074 Retaining Wall Replacement
RPQ No.:	X127A-R	RPQ Due Date:	11/5/2020
Project Location:	MIA Bldg 3074	Project Manager:	A. Portal

This Addendum serves to respond to the Request for Information (RFI) submitted by the following Contractors:

Joaquin Esquivia of Conbuild, LLC, received on 10/30/2020, 3:49PM.

- Q.1 Please confirm contractor will have access to the vacant lot across the canal.
- A.1 Since the vacant lot across the canal is not Miami-Dade County property, Miami-Dade Aviation Department (MDAD) can not confirm if the contractor will have access to it.
- Q.2 Please confirm that the contractor is not responsible for the existing condition of the building and future settlement during and after pile driving.
- A.2 Refer to General Note 14 on sheet S-1.
- Q.3 Will the contractor be required to pre-drill the holes prior to any sheet piling installations?
- A.3 Refer to General Note 11 on sheet S-1.

Joaquin Esquivia of Conbuild, LLC, received on 10/30/2020, 4:31PM.

- Q.4 Provide specs for the size, type of sheet for the sheet piles.
- A.4 Refer to General Notes 10, 11, 14, and 16 on Sheet S-1.
- Q.5 Provide specs for the epoxy coating as per sheet A/S-3.
- A.5 Refer to General Note 10(C) on Sheet S-1.

Q.6 Are the sheet piles and all products for this project to comply with Buy America policy?

A.6 "Buy America" is a requirement for federally funded projects. Since this project is not federally funded, the "Buy America" requirement does not apply.

All else remains the same. This document must be signed and returned as part of your RPQ response. Failure to return this document signed may result in your RPQ response being rejected as non-responsive.

Name of Contractor: _____

Name of Individual Authorized to Sign: _____

Title: _____

Signature: _____



Daniella Levine Cava, Mayor

Aviation
Maintenance Department
4200 NW 22 Street, Bldg 3030
Miami, FL 33159
3058768315

miamidade.gov

December 11, 2020

Gustavo Bustos
QUALITY CONSTRUCTION PERFORMANCE INC
2451 NW 109 Avenue Unit #2
Miami, FL 33172

CERTIFIED MAIL No:
FACSIMILE: 305-592-6354
TELEPHONE: 305-592-6353

Re: Recommendation for Award for CICC 7040-0/07 Contract - RPQ NO: X127A-R
Bldg 3074 Retaining Wall Replacement
Miami International Airport Bldg 3074

Dear Gustavo Bustos:

In accordance with Sections 2-8.3 and 2-8.4 of the Code of Miami-Dade County and Implementing Order 3-21, this letter serves to notify you and all bidders on this solicitation that your firm has been recommended for award of the referenced Request for Price Quotation (RPQ) based on the bid submitted on Thursday, November 5, 2020. Pursuant to the referenced legislation, the three (3) day protest period shall commence upon the filing of this recommendation to award with the Clerk of the Board. This contract award will be effective only in accordance with the conditions of the solicitation, which requires execution by both parties of the Notice to Proceed (NTP).

The value at award is \$613,000.00, This includes your base bid amount of \$550,000.00 and a contingency amount of \$55,000.00 and a Dedicated amount of \$8,000.00. The contract term is 180 calendar days. The award is contingent upon the submission and approval of Insurance Certificates listing the required coverage for General Liability, Auto Liability (Owned, Non-owned and Hired Vehicles) and Workers Compensation as required by Florida Statue Chapter 440. Additional documents may be required as listed below:

Bldg 3074 Retaining Wall Replacement

1. Copy of required licenses.
2. Fully executed and current Payment & Performance Bond Certificate.
3. ISO 14001: 2015 Awareness Self-Training Module certificates.
4. Certificates of insurance in accordance with the RPQ documents.
5. Workforce plan including Form RFTE-2, RFTE-3, and executed Job Clearing Affidavit for approval in writing by the SBD.
6. Copy of your firm's Safety Plan.
7. The OSHA Form 300 containing a list of the company's work-related injury and illness data for the previous three years.
8. OSHA inspection data for the previous three years.

The preceding Documents are required as outlined within the RPQ project specification and the MCC 7040 Plan. They must be submitted to the Aviation within 10 business days of receipt of this letter. In the event additional insurance is required, it also must be submitted within 10 business days. Failure to submit the documents within the specified time frame, or an extension approved by the County, will result in the award being rescinded.

Subsequent to the review and approval of the referenced documents, you are required to obtain the necessary permits in the time frame stipulated in the RPQ. Upon obtaining the permit(s), copies must be submitted to the Project Manager prior to commencement of work. No work is to be performed without a permit (if applicable). Following receipt of the permit(s), the Project Manager may schedule a pre-construction conference and issue a Notice to Proceed authorizing the performance of the work.

This letter shall also serve as a reminder that this contract is a Small Business Enterprise – Construction (SBE-Con) 100% set-aside. All construction work must be performed by contractors certified in accordance with Section 10-33.02 of the Code of Miami Dade County. The scope of work must be performed in accordance with the contract terms and conditions, all permits and inspections and in accordance with all applicable Federal, State and local laws, codes and regulations. Should you have any questions please contact Adrian Portal, Project Manager, at 3058768315.

Sincerely,


Ana Finol, P.E.
Division Director

CC: Ralph Cutie MDAD, Ana Finol MDAD, Juan Paan MDAD, Silvia Perez MDAD,
Gary Hartfield ISD, Laurie Johnson ISD, Marcia Martin ISD, Yuleisy Hernandez MDAD,
Olga Valverde COB, Adrian Portal MDAD, James P. Ferreira MDAD,
Quality Construction Performance, Inc., Fleites Construction Group, Inc.,
Conbuild, LLC

HP
12/11/20

FOR
12/11/20



Daniella Levine Cava, Mayor

Aviation

Maintenance Department
4200 NW 22 Street, Bldg 3030
Miami, FL 33159

March 22, 2021

Gustavo Bustos
QUALITY CONSTRUCTION PERFORMANCE INC
2451 NW 109 Avenue Unit #2
Miami, FL 33172

CERTIFIED MAIL No:
FACSIMILE: 305-592-6354
TELEPHONE: 305-592-6353

Re: Notice To Proceed for MCC 7040 Plan - RPQ NO: X127A-R
Bldg 3074 Retaining Wall Replacement
Miami International Airport Bldg 3074

Dear Gustavo Bustos:

This letter will serve as your notification that you are to proceed with the work described in RPQ #X127A-R starting Monday, March 29, 2021, and that all work must be completed on schedule in accordance with the contract documents. The time allotted for the contract is 180 consecutive calendar days which results in a scheduled completion date of Saturday, September 25, 2021. **In the event the project is not completed by the scheduled completion date and a time extension has not been granted, your firm shall be subject to any liquidated and or stipulated damages as defined in the contract documents for this project.**

The ERP Finance System Purchase Order number is 0000053066.

The complete execution of this notice to proceed shall constitute a contract for the work described in the Request for Price Quotation (RPQ) under the MCC 7040 Plan. **Failure to properly execute and return this document within ten (10) calendar days of the date of this letter may result in the County rescinding the award to your firm and awarding the subject project to the next lowest responsive and responsible bidder.**

The terms and conditions applicable to this contract are in the 7040 Contract and 7040 Amendment #1, dated 10/18/2002 and 3/1/2005 respectively, and the totality of the contract documents (including but not limited to the RPQ including any special provisions contained therein, drawings and specifications, addenda, and any contract modifications or change orders etc).

This letter will also serve as a reminder that all work must be performed in accordance with the contract documents and in accordance with all applicable Federal, State and local laws, codes and regulations. In accordance with the contract procedure, the Miami-Dade County Purchase Order Release Number is POAV2101260.

Should you have any questions regarding this notification, please contact Adrian Portal at 3058768315.

Sincerely,

Ana Finol, P.E.
Division Director

CC: Ralph Cutie, MDAD; Sylvia Novela, MDAD; Juan Paan, MDAD;
Yuleisy Hernandez, MDAD; Silvia Perez, MDAD; James P. Ferreira, MDAD;
Adrian Portal, MDAD; Laurie Johnson, ISD;
Marcia Martin, ISD; Dayron Perez, ISD; Olga Valverde, COB; Project File.

Purchase Order

AVIATION DEPARTMENT

4200 NW 36TH Street
Miami FL 33102
United States

Supplier: 0000018728
QUALITY CONSTRUCTION PERFORMANCE INC
2451 NORTHWEST 109TH AVENUE
UNIT 2
MIAMI FL 33172

Dispatch via Print

Purchase Order AVIAT-0000053066	Date 03/15/2021	Revision 1	Page 1
Payment Terms N30	Freight Terms Destination	Ship Via Common Carrier	
Buyer YULEISY HERNANDEZ - MDAD	Phone	Currency	

Ship To: 1C30401C
Warehouse Bldg 3040
4331 NW 22nd Street
Miami FL 33122
United States

Attention: Not Specified

Bill To: Accounts Payable
P.O. Box 526624
MIAMI FL 33152-6624
United States

Tax Exempt? Y **Tax Exempt ID:** 59-6000573

Replenishment Option: Standard

Line-Sch	Item/Description	Mfg ID	Quantity	UOM	PO Price	Extended Amt	Due Date
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1-	1	RPQ: X127A-R BUDGET: AV1499-942100 Bldg 3074 Retaining Wall Replacement ± 67 % of the base Amt. = \$371,272.43	1.00	EA	371,272.43	371,272.43	03/15/2021
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Contract ID: ABCW1000672

Contract Line: 0

Category Line: 0 Release: 3849

Scope of Work: (Contractor must obtain and submit all permits prior to performing any work.)
The Scope of Work includes, but is not limited to, providing all labor, equipment and materials required to replace the existing failing retaining wall for a bulkhead wall along the east property line of building 3074, adjacent to the canal.

Item Total 371,272.43

2-	1	± 67 % of the contingency Amt. = \$37,127.24	1.00	EA	37,127.24	37,127.24	03/15/2021
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Contract ID: ABCW1000672

Contract Line: 0

Category Line: 0 Release: 3850

Contingency Allowance Account: for unforeseen conditions, construction changes, for additional work or materials not covered by other proposal items and for quantity adjustments, if ordered by the MDAD PM.

This account item is for all labor, materials, equipment and service necessary for modification or extra work required to complete the Project because of unforeseeable conditions, unforeseeable conflicts between existing elements of work and the proposed work; for minor changes required to resolve any unforeseeable conditions, Revised Regulations, Technological and Products Development, Operational Changes, Schedule Requirements, Program Interface, Emergencies and other miscellaneous costs; all if ordered by the MDAD PM. The Contingency Allowance Account is ten percent of the subtotal of all quantities provided on the Bid Form.

Payment to the CONTRACTOR under this item will only be made for work ordered in writing by the MDAD. Any portion of this fund remaining after all authorized payments have been made will be withheld from Contract Payments, and will remain with the County. If one account has been depleted and funds are available in the other accounts the MDAD PM may use some of the available funds to complete the Project.

Item Total 37,127.24

3-	1	± 67 % of the dedicated Amt. = \$5,400.33	1.00	EA	5,400.33	5,400.33	03/15/2021
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Note: All Chemical and hazardous material orders must be delivered with a copy of the most recent available MSDS for the product. Failure to do so, may result in the refusal of acceptance of the material or product.

Authorized Signature

Purchase Order

AVIATION DEPARTMENT

4200 NW 36TH Street
Miami FL 33102
United States

Supplier: 0000018728
QUALITY CONSTRUCTION PERFORMANCE INC
2451 NORTHWEST 109TH AVENUE
UNIT 2
MIAMI FL 33172

Dispatch via Print

Purchase Order	Date	Revision	Page
AVIAT-0000053066	03/15/2021		2
Payment Terms	Freight Terms	Ship Via	
N30	Destination	Common	
Buyer	Phone	Carrier	
YULEISY HERNANDEZ - MDAD		Currency	

Ship To: 1C30401C
Warehouse Bldg 3040
4331 NW 22nd Street
Miami FL 33122
United States

Attention: Not Specified

Bill To: Accounts Payable
P.O. Box 526624
MIAMI FL 33152-6624
United States

Tax Exempt? Y **Tax Exempt ID:** 59-6000573

Replenishment Option: Standard

Line-Sch	Item/Description	Mfg ID	Quantity	UOM	PO Price	Extended Amt	Due Date
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Contract ID: ABCW1000672 Contract Line: 0 Category Line: 0 Release: 3851
Dedicated Allowance Account: for other unforeseen conditions (permitting, plan revisions, existing utility relocations, utility company service fees), construction changes and for quantity adjustments. The Dedicated Allowance Account is fixed at \$8,000.00. Any portion of this fund remaining after all authorized payments have been made will be withheld from Contract Payments, and will remain with the County. If one account has been depleted and funds are available in the other accounts the MDAD PM may use some of the available funds to complete the Project.

Item Total 5,400.33

Total PO Amount 413,800.00

Note: All Chemical and hazardous material orders must be delivered with a copy of the most recent available MSDS for the product. Failure to do so, may result in the refusal of acceptance of the material or product.

Authorized Signature

Yuleisy Hernandez